

215 WEST MAIN STREET
NORTHVILLE, MI 48167
(248) 449-9902

SITE PLAN APPLICATION

Refer to Article 19 of the City of Northville Zoning Ordinance for Site Plan Review Procedures and Standards. The Zoning Ordinance is available on the City's website www.ci.northville.mi.us.

See Page 4 for Application Submission requirements and Procedures for Appearing before the Planning Commission. Refer to the Development Review Fee Schedule at www.ci.northville.mi.us for current fees.

Check appropriate review to be completed:

- ☐ SITE PLAN REVIEW: Is this for ☒ Preliminary Review ☒ Final Review
- ☐ CHANGE OF USE (for proposed development which requires additional parking)
- ☐ MINOR SITE DEVELOPMENT (review by City Manager, PC Chair, and City Planner)

TO BE COMPLETED BY APPLICANT

Name of Sponsor of Development: _____

Address _____

Telephone _____ Email _____

Name of Property Owner: 157 E. Main Street LLC (Grant & Rob Baldas)

Address: 157 E. Main Street or 25000 Assembly Park Drive Wixom 48393

Telephone (248) 444-3358 Email gbaldas9@gmail.com

Name of Site Planner: Craig MacDonell (Architect) MacDonell Associates Architects

Address: 312 E. Liberty Street Milford, MI 48381

Telephone (248) 302-0158 Email ravensrock@msn.com

Name of Contractor: Schonscheck, Inc. Builders License No: N/A.

Address: 50555 Pontiac Trail Wixom MI 48393

Name of Engineer: Marc Budzinski P.S. Monument Engineering Group Associates, Inc.

Address: 298 Veterans Drive

Telephone (517) 223-3512 Email mbudzinski@monumentengineering.com

*Point of Contact for this Project/Application to Receive City Department Internal Reviews

Point of Contact information must be provided in order to receive City Department Internal Reviews prior to the Planning Commission Meeting. Only ONE Point of Contact shall be designated. This person is responsible for forwarding the Internal Reviews to the interested parties. The Internal Reviews are sent via EMAIL.

Name Craig MacDonell Email Address ravensrock@msn.com

LOCATION OF PROJECT

Property Address: 157 E. Main Street Northville, MI 48167
Cross Streets: Main and Hutton
Subdivision: Assessors Northville Plat No. 7 Lot No: 716 & 717
Lot Size: TBD Zoning District: CBD Central Business District.
Located in the Historic District: ☒ *Yes ☐ No *IF YES, APPLICATION MUST ALSO BE MADE TO THE HISTORIC DISTRICT COMMISSION FOR APPROVAL. *Have submitted for review.*
APPLICATION IS FOR ☒ Preliminary Approval ☒ Final Approval

TYPE AND COST OF BUILDING – All applicants must complete parts A – D**A. TYPE OF IMPROVEMENT:**

New Building

1. ☒ Addition (If residential, enter number of new housing units added, if any in part D 13)
2. ☒ Alteration (see 2 above)
3. ☐ Repair, replacement
4. ☐ Demolition (If multi-family residential, enter number of units in building in part D 12)
5. ☐ Moving (relocation)
6. ☐ Foundation only

B. OWNERSHIP

- 8a. ☒ Private (individual, corporation, non-profit instruction, etc.)
- 8b. ☐ Public (Federal, State, or local government)
9. ☒ Proof of ownership (**required**). Proof shall consist of Title Insurance, Purchase Agreement. **Must** have Names of the principal owners involved in any Corporation, Partnership, etc.

C. COST:

10. ☒ Total Cost of Improvement \$ 498,200 -

To be installed and included in the above cost:

- a. Electrical ✓
- b. Plumbing ✓
- c. Heating, Air Conditioning ✓
- d. Other (elevator, etc.) _____

D. PROPOSED USE – for “demolition” indicate most recent use

- | | |
|--|--|
| 11. <input type="checkbox"/> One Family | 19. <input type="checkbox"/> Industrial |
| 12. <input type="checkbox"/> Multi-family # of units _____ | 20. <input type="checkbox"/> Parking |
| 13. <input type="checkbox"/> Transient hotel, motel, dormitory
Enter # of units _____ | 21. <input type="checkbox"/> Service station, repair garage |
| 14. <input type="checkbox"/> Garage | 22. <input type="checkbox"/> Hospital, institutional |
| 15. <input type="checkbox"/> Carport | 23. <input type="checkbox"/> Office, bank-professional |
| 16. <input type="checkbox"/> Other – specify _____ | 24. <input type="checkbox"/> Public utility |
| | 25. <input type="checkbox"/> School, library, etc. |
| | 26. <input type="checkbox"/> Stores, mercantile |
| 17. <input type="checkbox"/> Amusement, recreational | 27. <input type="checkbox"/> Tanks, towers |
| 18. <input type="checkbox"/> Church, other religious | 28. <input checked="" type="checkbox"/> Other - specify <u>restaurant/tavern</u> |

NON RESIDENTIAL – describe in detail the proposed use of building, e.g. food processing plant, machine shop, laundry building or hospital, elementary school, college, parochial school, parking garage for department store, rental office building, office building at an industrial plant. If use of existing building is being changed, enter proposed use.

Project is an existing restaurant /tavern and will be altered to provide larger kitchen and to add open air roof top dining and egress from roof deck dining

SELECTED CHARACTERISTICS OF BUILDING

For new buildings and additions, applicant shall complete parts E – L. For demolition, applicant shall complete only part J.

E. PRINCIPAL TYPE OF FRAME

- | | |
|--|--|
| 29. <input checked="" type="checkbox"/> Masonry (wall bearing) | 32. <input type="checkbox"/> Reinforced Concrete |
| 30. <input type="checkbox"/> Wood Frame | 33. <input type="checkbox"/> Other – specify _____ |
| 31. <input type="checkbox"/> Structural Steel | |

F. PRINCIPAL TYPE OF HEATING FUEL

- | | |
|---|--|
| 34. <input checked="" type="checkbox"/> Gas | 37. <input type="checkbox"/> Coal |
| 35. <input type="checkbox"/> Oil | 38. <input type="checkbox"/> Other – specify _____ |
| 36. <input type="checkbox"/> Electricity | |

G. TYPE OF SEWAGE DISPOSAL

- | | |
|---|--|
| 39. <input checked="" type="checkbox"/> Public or private company | 40. <input type="checkbox"/> Private (septic tank, etc.) |
|---|--|

H. TYPE OF WATER SUPPLY

- | | |
|---|--|
| 41. <input checked="" type="checkbox"/> Public or private company | 42. <input type="checkbox"/> Private (well, cistern) |
|---|--|

I. TYPE OF MECHANICAL

- | | | |
|-------------|---|--|
| Central Air | 43. <input checked="" type="checkbox"/> Yes | 44. <input type="checkbox"/> No |
| Elevator | 45. <input type="checkbox"/> Yes | 46. <input checked="" type="checkbox"/> No |

J. DIMENSIONS

47. Number of stories 1
48. Total square feet of floor area, all floors based on exterior dimensions 3,223 s.f.
49. Total land area, square feet TBD

K. NUMBER OF OFF STREET PARKING SPACES

50. Enclosed _____ 51. Outdoors public parking

L. BEDROOMS/BATHS

52. Number of bedrooms 8
53. Number of baths 2 Full baths _____ ½ baths _____

M. COMPLETE APPENDIX D "SITE PLAN REVIEW CHECK LIST" Pages 5-9 of this application

Procedures to Appear Before the Planning Commission

- Fill out the application with any backup documentation attached (i.e. blueprints, drawings, plot plans etc.)
- Make **10** copies of the application and backup documentation and assemble them into 10 identical packets. Application must be on top and backup documents must be folded to the same size as the application. Submissions in folders, binders, etc are not accepted. **One PDF file of site plans or document larger than 11"x17" must also be provided at time of submission and emailed to dmassa@ci.northville.mi.us.**
- Submit the documents to the Building Department no later than 4:00 p.m. the day of the deadline. The deadline to submit applications and documentation is **21** days prior to the meeting date. If this date falls on a Saturday or Sunday, applications must be submitted on the Friday prior to the due date. Deadlines may also be moved due to holidays and newspaper publication schedules. Follow the submission schedule posted at the Building Department or on the City's website www.ci.northville.mi.us.
- Planning Commission meetings are held the 1st and 3rd Tuesdays of the month at 7:00 p.m. in the City Council Chambers. If there is a change in date or location, it will be posted on the City's website and at City Hall.
- The applicant or a representative should be present at the meeting to answer any questions the commissioners may have. Presentation boards or other large items can be brought to the meeting to help the commissioners in the decision making process.

APPLICATION CHECK LIST

- ☒ Site Plan Application – completed in its entirety and signed. Unsigned applications are not accepted.
- ☒ Site plans, Sketches, etc. – hard copy
- ☒ Appendix D – Site Plan Review Checklist
- ☒ Proof of ownership (See page 2)
- ☒ All of the above assembled into 10 identical packets – no binders, folders, etc.
- ☒ PDF file of any sketch, site plan, or document larger than 11"x17" **emailed to dmassa@ci.northville.mi.us.**
- ☒ Fee (see Development Review Fee Schedule) – Applications submitted without fees are not considered a timely submission, and shall be deferred to a future meeting.

I hereby certify that the owner of record authorizes the proposed work and that the owner has authorized me to make this application as his/her authorized agent and we agree to conform to all applicable laws of this jurisdiction. The applicant hereby expressly acknowledges and agrees that by signing this document, the applicant is fully responsible for any and all fees, costs, and/or expenses which are associated with this application whether approval of the application is granted or not. In the event that the City of Northville is required to take any type of action, legal or otherwise, to collect any amount due or owing by the applicant, then the applicant expressly agrees to pay for any and all costs and expenses, including attorney fees, incurred by the City of Northville in having to collect any such amount due or owing by the applicant. This section must be completed and signed or application will not be accepted.

Craig MacDonell for 157 E Main LLC

PRINT name of applicant

Signature

Craig MacDonell MacDonell Associates Architects

Print the applicant's full legal name (individual or company)

312 E. Liberty Street Milford, MI 48381

Provide the applicant's complete address

Owners Architect/Representative (248) 302-0158

Relationship to owner

Phone #

APPENDIX D

SITE PLAN REVIEW CHECKLIST

To be Completed by Applicant A - G

General Requirement of Overall Development Plan

Submission shall consist of drawings shown at a scale of not less than 1 inch equals 50 feet on a standard sheet size of 24' x 36'. A scale of 1 inch equals 100 feet when conditions warrant or do not allow the use of the standard sheet size at a scale of 1 inch equals 50 feet may be permitted. Architectural elevations and floor plan details shall be drawn to a minimum scale of 1/8 inch equals 1 foot. The appropriate number of drawing/plans as provided in the adopted administrative rules together with the required application and fees shall be submitted to the Building Department. **One PDF file of drawings larger than 11x17 must also be provided at time of submission, email to dmassa@ci.northville.mi.us**

Included in the development plan shall be the following information. If required items of information are not applicable, the applicant shall indicate reason why the information is not necessary. The Planning Commission shall determine if a waiver for the required items of information is appropriate for preliminary and final site plan submittal.

A. TITLE BLOCK INFORMATION

1. Proprietor's Name and Address
2. Name of community where project is proposed
3. Scale of drawing
4. Revision block (month, day, year)
5. Name of Architect, Engineer, Surveyor, Landscape Architect or Planner and Professional Seal.
6. Legal Description of the Parcel

INFORMATION

Provided	Not Provided	Reason N/A
✓		
✓		
✓		
✓		
✓		
✓		

B. LEGEND INFORMATION

1. Area of Parcel Proposed for Development
2. Zoning Classification of the Site
3. If Residential, show density calculations (i.e.: dwelling units per acre or bedrooms per acre)
4. If Commercial or Industrial show gross and useable floor area
5. Proposed and Existing Land Uses
6. Number of Parking Spaces Provided and Number Required by the Zoning Ordinance
7. Number of Loading & Unloading Spaces if Required & Number Required by the Zoning Ordinance
8. Percent of Parcel Covered by Main & Accessory Buildings

INFORMATION

Provided	Not Provided	Reason N/A
✓		
✓		
✓		
✓		
.		no additional parking required
		no additional loading required
✓		100%.

C. AREA PLAN/COMMUNITY LOCATION

1. Relationship of the Proposed Development to a larger portion of the Community, generally with respect to the closest major arterial intersection.
2. Extent of Proprietors land if more than subject property
3. Zoning classification of all contiguous properties
4. Location of all contiguous buildings
5. Location of driveways opposite development and nearest driveways on contiguous street fronting property
6. Location and size of all off site utilities and utility easements
7. North Arrow

INFORMATION

Provided	Not Provided	Reason N/A
✓		
✓		
✓		
✓		
	✓	No drives to parcel
✓		
✓		

D. SITE PLAN DEVELOPMENT

1. Location and uses of all proposed and existing buildings
2. Dimensions from all exterior property lines to proposed and existing buildings
3. Existing and proposed grades shall be shown throughout site
4. If development is in phases, total over all conceptual development shall be shown together with details of Phase I
5. On site utilities, their location and connection to off-site utilities
6. Internal circulation pattern and points of ingress and egress to the site and relationship to external points of ingress and egress near or opposite the site
7. Location and design of all parking facilities & loading & unloading areas
8. Construction standards for all drives, walks and parking lots
9. Provisions of acceleration, deceleration and passing lanes
10. Location of trash receptacles, transformer pads or other utility surface structure
11. Applicable barrier free design rules

INFORMATION

Provided	Not Provided	Reason N/A
✓		
✓		
✓		
✓		
.	✓	existing connections to remain
✓		
✓		parking and loading from public lot
	✓	N/A
	✓	N/A
	✓	N/A
	✓	N/A

E. ARCHITECTURAL PLAN DETAILS

1. Proposed architectural elevations
2. Floor plan layout to show:
 - a. Dwelling unit type (for multiples)
 - b. Useable floor space (for other)
 - c. Proposed use (for other)
3. Structural details for application of performance bonds

INFORMATION

Provided	Not Provided	Reason N/A
✓		

INFORMATION

Provided	Not Provided	Reason N/A
	✓	N/A
✓		
✓		
	✓	N/A.

F. LANDSCAPING, LIGHTING AND SIGN DETAILS

1. Green spaces, screening walls and/or berms and fencing with details and cross-section around parking stations, trash receptacles, utility structures and for screening adjacent properties
2. Landscaping specifications showing planting materials, species and number noted in landscape legend
3. Exterior lighting with locations and methods of shielding
4. Directional signs, location and size and design
5. Advertising signs, location, size and design

INFORMATION

Provided	Not Provided	Reason N/A
	✓	N/A
	✓	N/A
	✓	existing to remain
	✓	N/A
✓		replacement of two signs with different verbiage

G. GENERAL REMARKS

NOTE: FAILURE TO SUBMIT PLANS THAT DO NOT ALLOW THE PLANNING COMMISSION TO ADEQUATELY ADDRESS ALL THE CRITERIA PROVIDED FOR THE REVIEW BY THE PLANNING COMMISSION ACCORDING TO ARTICLE 19 OF THE ZONING ORDINANCE AND THE SITE PLAN CHECK LIST SHALL RESULT IN A DELAY TO THE APPLICANT.

157 E. Main, LLC

25000 Assembly Park Drive
Wixom, Michigan 48393

AUTHORIZATION OF REPRESENTATION

RE: Poole's Tavern

To Whom It May Concern,

I authorize representatives of Schonsheck, Inc. and MacDonell Associates Architects to act as the Owners' Designated Agent and to sign on behalf of 157 E. Main, LLC regarding all matters, including any and all permitting requirements as it pertains to my property in the City of Northville, Michigan.

Kind Regards,

A handwritten signature in black ink, appearing to read "RBaidas". The signature is stylized with a large "R" and a cursive "Baidas".

Rob Baidas
157 E. Main, LLC
25000 Assembly Park Drive
Wixom, Michigan 48393



First American

Commitment

Commitment for Title Insurance

ISSUED BY

First American Title Insurance Company

300 East Long Lake Road, Suite 300, Bloomfield Hills, Michigan, 48304,
(248)540-4102, mi.bloomfield@firstam.com

File No. 906162

COMMITMENT FOR TITLE INSURANCE

Issued By

FIRST AMERICAN TITLE INSURANCE COMPANY

NOTICE

IMPORTANT-READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, ***First American Title Insurance Company***, a Nebraska Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

First American Title Insurance Company

Dennis J. Gilmore, President

Greg L. Smith, Secretary

If this jacket was created electronically, it constitutes an original document.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements;
- (f) Schedule B, Part II—Exceptions

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I—Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

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6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is *less than the certain dollar amount set forth in any applicable arbitration clause*, shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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First American

Schedule A

ALTA Commitment for Title Insurance

ISSUED BY

First American Title Insurance Company

File No: 906162

Transaction Identification Data for reference only:

Issuing Agent: First American Title Insurance Company

Issuing Office: 300 East Long Lake Road, Suite 300,
Bloomfield Hills, MI 48304

Issuing Office File No.: 906162

Commitment No.: 906162

Property Address: 157 and Vacant E Main Street, Northville, MI
48167

Revision:

SCHEDULE A

1. Commitment Date: July 28, 2020 8:00 AM
2. Policy to be issued:
 - (A) ALTA Owner's Policy (6-17-06)
Proposed Insured: RMJ2 Properties of Northville, L.L.C., a Michigan limited liability company
Proposed Policy Amount: \$0.00

3. The estate or interest in the Land described or referred to in this Commitment is

Fee Simple

4. The Title is, at the Commitment Date, vested in:

RMJ2 Properties of Northville LLC, as to that portion of subject property lying within Lot 716
City of Northville, a Michigan Municipal Corporation, as to the remainder
5. The Land is described as follows:
See Schedule C attached hereto and made a part hereof

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First American

Schedule BI & BII

ALTA Commitment for Title Insurance

ISSUED BY

First American Title Insurance Company

File No: 906162

Commitment No.: 906162

SCHEDULE B, PART I

Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Submit completed Owner's Estoppel/Affidavit/ALTA Statement on the form provided by the Company and signed by or on behalf of all owners.
6. If the Company has been requested to limit the exception for rights of tenants to rights of tenant, as tenants only, the exception will be limited as requested upon submission and review of copies of leases to confirm there are no rights of first refusal or options to purchase contained in any lease or upon submission of such other evidence satisfactory to the company that there are no rights of first refusal or options to purchase in favor of any tenant.
7. Provide evidence of the purchase price and/or the amount of any mortgage to be insured and identify any Proposed insured. Once a Proposed insured has been identified, additional requirements and exceptions may be made.
This is a preliminary commitment. It is not effective and the Company assumes no liability until Schedule A of commitment is amended to include the name of the Proposed Insured and a proposed Policy Amount greater than \$0.00.
8. Prior to closing, the Company must confirm whether the county recording office in which the Land is located has changed its access policies due to the COVID-19 outbreak. If recording has been restricted, specific underwriting approval is required; and, additional requirements or exceptions may be made.
9. Submit satisfactory evidence as to the relationship between RMJ2 Properties of Northville LLC and Charles Pannette. This commitment is subject to such further requirements and/or exceptions as may be deemed necessary.

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10. We find no outstanding voluntary liens of record affecting subject property. Disclosure should be made concerning the existence of any unrecorded lien or other indebtedness which could give rise to any possible security interest in the subject property.
11. Submit evidence satisfactory to the Company that the proposed division of the land to be insured has final approval by the proper municipality pursuant to the provisions of the Land Division Act (P.A. 591 of 1996). Further requirements may be necessary upon review of the final approval including, but not limited to revisions to the legal description to be insured on Schedule A.
12. Release(s) of Lien(s) recorded in [Liber 29706, page 3130](#), or it/they shall appear on the final policy.
13. Release(s) of Lien(s) recorded in [Liber 30120, page 1314](#), or it/they shall appear on the final policy.
14. Provide satisfactory evidence of the authority of the person or persons authorized to execute the Deed on behalf of City of Northville, a Michigan Municipal Corporation.
15. Warranty Deed from City of Northville, a Michigan Municipal Corporation to RMJ2 Properties of Northville, L.L.C., a Michigan limited liability company.
16. Application has been made for the issuance of Owner's policy without standard exceptions. Such policy will be issued upon receipt of the following:
 - a) A fully executed Owner's affidavit which evidences there has been no work completed on the property within the last 90 days or, if work has been completed, a final sworn statement satisfactory to First American Title Insurance Company. Full unconditional waivers of lien must accompany such affidavit; and
 - b) An ALTA/NSPS survey or other survey satisfactory to First American Title Insurance Company. Additional exceptions will be made for any easements, encroachments or other matters which may be disclosed by the survey.
17. Pay unpaid taxes and assessments unless shown as paid.
18. All Taxes paid to and including 2019
 2019 Winter Taxes PAID in the amount of \$4,160.47
 2020 Summer Taxes PAID in the amount of \$12,093.90
 Tax Item No. 48-001-04-0716-000, as to Lot 716, covers more land
 Property Address: 157 E Main Street, Northville, MI 48167
 If any amounts are shown as DUE, the total does not include collection fees, penalties or interest.
19. The tax parcel code identified herein covers greater land than the proposed insured land. This commitment, and the policy to be issued pursuant hereto, does not insure a legal division of the land or guarantee its certification as a separate tax parcel.
20. Taxes are exempt:
 Tax Item Number: 48-001-04-0717-000, as to the remainder, covers more land
 Vacant E Main Street, Northville, MI 48167
 If any amounts are shown as DUE, the total does not include collection fees, penalties or interest.
21. The tax parcel code identified herein covers greater land than the proposed insured land. This commitment, and the policy to be issued pursuant hereto, does not insure a legal division of the land or guarantee its certification as a separate tax parcel.
22. If the Land is connected to public/community water or sewer, furnish a copy of the current bill to First American Title Insurance Company showing that all charges have been paid to date or the Policy to be issued will include an exception on Schedule B for water and sewer charges which became a lien prior to the Date of Policy.

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First American

Schedule BI & BII (Cont.)

ALTA Commitment for Title Insurance

ISSUED BY

First American Title Insurance Company

File No: 906162

Commitment No.: 906162

SCHEDULE B, PART II

Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or by making inquiry of persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title including discrepancies, conflicts in boundary lines, shortage in area, or any other facts that would be disclosed by an accurate and complete land survey of the Land, and that are not shown in the Public Records.
5. Any lien or right to lien for services, labor or material imposed by law and not shown by the Public Records.
6. Taxes and assessments not due and payable at Commitment Date.
7. Interest of Charles Pannette, as disclosed on tax rolls of Wayne County.
8. Notice of Michigan Employment Security Agency Tax Lien in the amount of \$149.74 against Getzie S Pub, recorded October 27, 1997, in [Liber 29706, page 3130](#).
9. Notice of Unemployment Agency Tax Lien in the amount of \$2,664.82 against M R P Inc and Pooles Tavern, recorded January 22, 1999, in [Liber 30120, page 1314](#).
10. Erection Permit in favor of Michigan State Telephone Company and the Covenants, Conditions and Restrictions contained in instrument recorded in [Liber 1336, page 341](#).

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Notice of Easement recorded in [Liber 13509, page 652](#), Register No. E283160.

11. Covenants, conditions, restrictions and other provisions but omitting restrictions, if any, based on race, color, religion, sex, handicap, familial status or national origin as contained in instrument recorded in [Liber 20901, page 897](#), Register No. G516322.
12. Joint Overhead and Underground Easement in favor of The Detroit Edison Company and the Michigan Bell Telephone Company and the Covenants, Conditions and Restrictions contained in instrument recorded in [Liber 21606, page 258](#), Register No. G724612.
13. Rights, title, and interests of the other owners of portions of the building partly located on the insured land and partly located on other land in the party walls, roof, chimneys, fixtures, and other appurtenances to the building susceptible to common use, whether or not they are located in whole or in part on the insured land or other land.
14. Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat.
15. Loss or damage arising out of any discrepancy between the legal description of the property as insured and the legal description of the property as assessed on the Wayne County tax rolls.
16. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act, 1930 (7 U.S.C. §§499a, et seq.) or the Packers and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws, as to Lot 716.
17. Interest of others in oil, gas and mineral rights, if any, whether or not recorded in the public records.
18. Interest, if any, of the United States, State of Michigan, or any political subdivision thereof, in the oil, gas and minerals in and under and that may be produced from the captioned land.
19. Rights of tenants, if any, under any unrecorded leases.
20. Lien for outstanding water or sewer charges, if any.

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TO BE COMPLETED BY THE CITY

CASE # _____

DATE _____

Application Fee: \$ _____ Date filed with Building Dept: _____

Date submitted to Planning Commission: _____

Approval: Date and Signature of Secretary: _____

Disapproval*: Date and Signature of Secretary: _____
(*Reason for disapproval attached)

Conditional Approval*: Date and Signature of Secretary: _____
(*Conditions of approval attached)

Revised Site Plan submitted: (Date) _____

All conditions have been met and the revised Site Plan is in accordance with the conditions of approval attached.

Revised Site Plan Approved:

(Signature of Building Inspector)

(Date)

Comments:

NOTE: THIS PROCESSING FORM, TOGETHER WITH ALL CORRESPONDENCE, IS TO BE ATTACHED TO THE PLANNING COMMISSION'S "OFFICIAL COPY" OF THE SITE PLAN, FORMING A PERMANENT RECORD REGARDING THE PLAN SUBMITTED. THE "OFFICIAL COPY" TOGETHER WITH ALL ATTACHED DATA SHALL BE RETURNED TO THE PLANNING COMMISSION FILES AFTER PROCESSING.

CITY USE ONLY

PLAN REVIEW RECORD

Plan Reviews Required

Date Plans Approved

Approved By

Building

Plumbing

Mechanical

Electrical

Police Department

Fire Department

City Engineer

Other

Building Permit #

FOR DEPARTMENTAL USE ONLY

Building Permit Issued _____
(date)

Use Group _____

Building Permit Fee \$ _____

Fire Grading _____

Live Loading _____

Certificate of Occupancy \$ _____

Occupancy Load _____

Drain Title \$ _____

Plan Review Fee: \$ _____

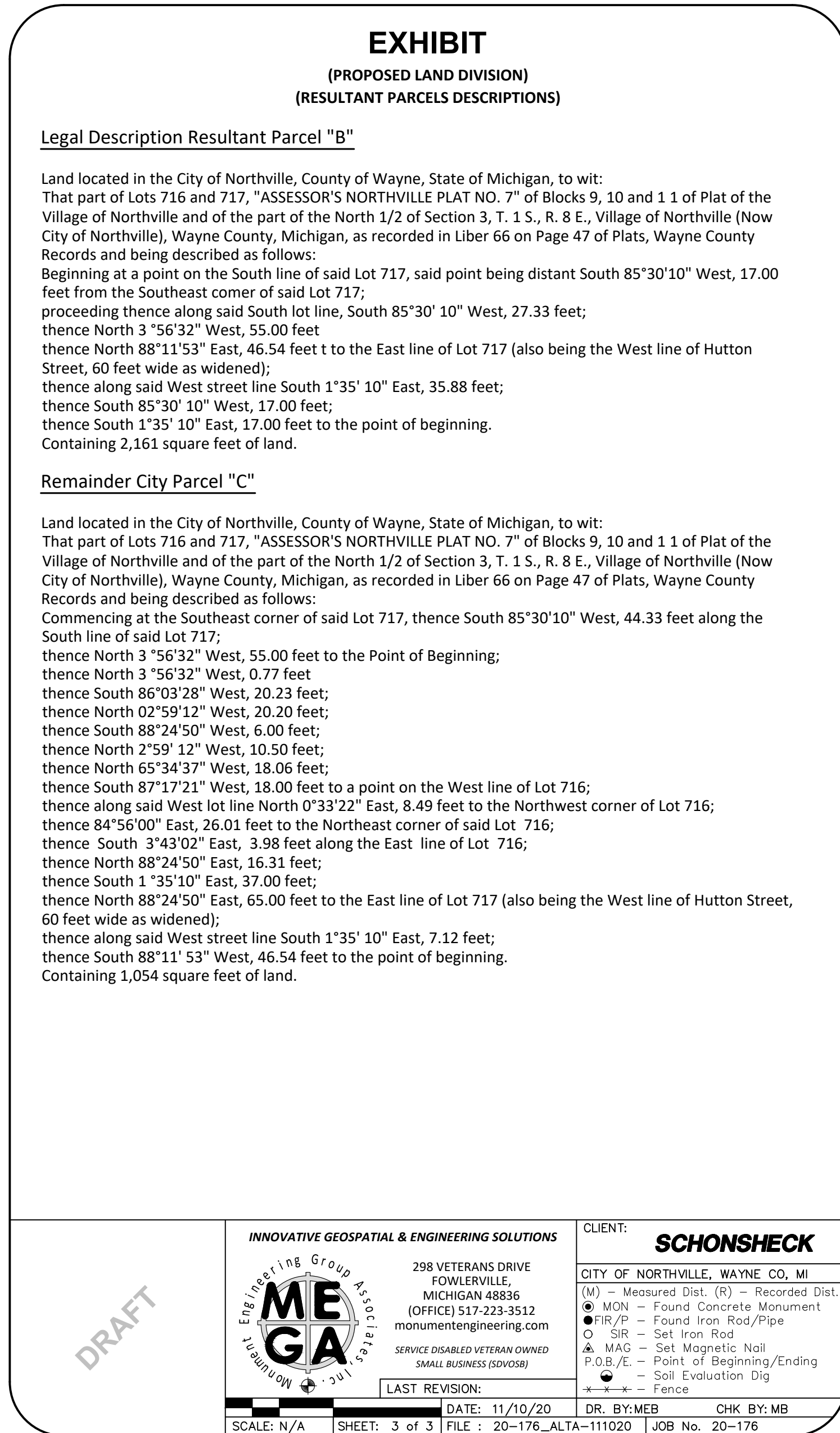
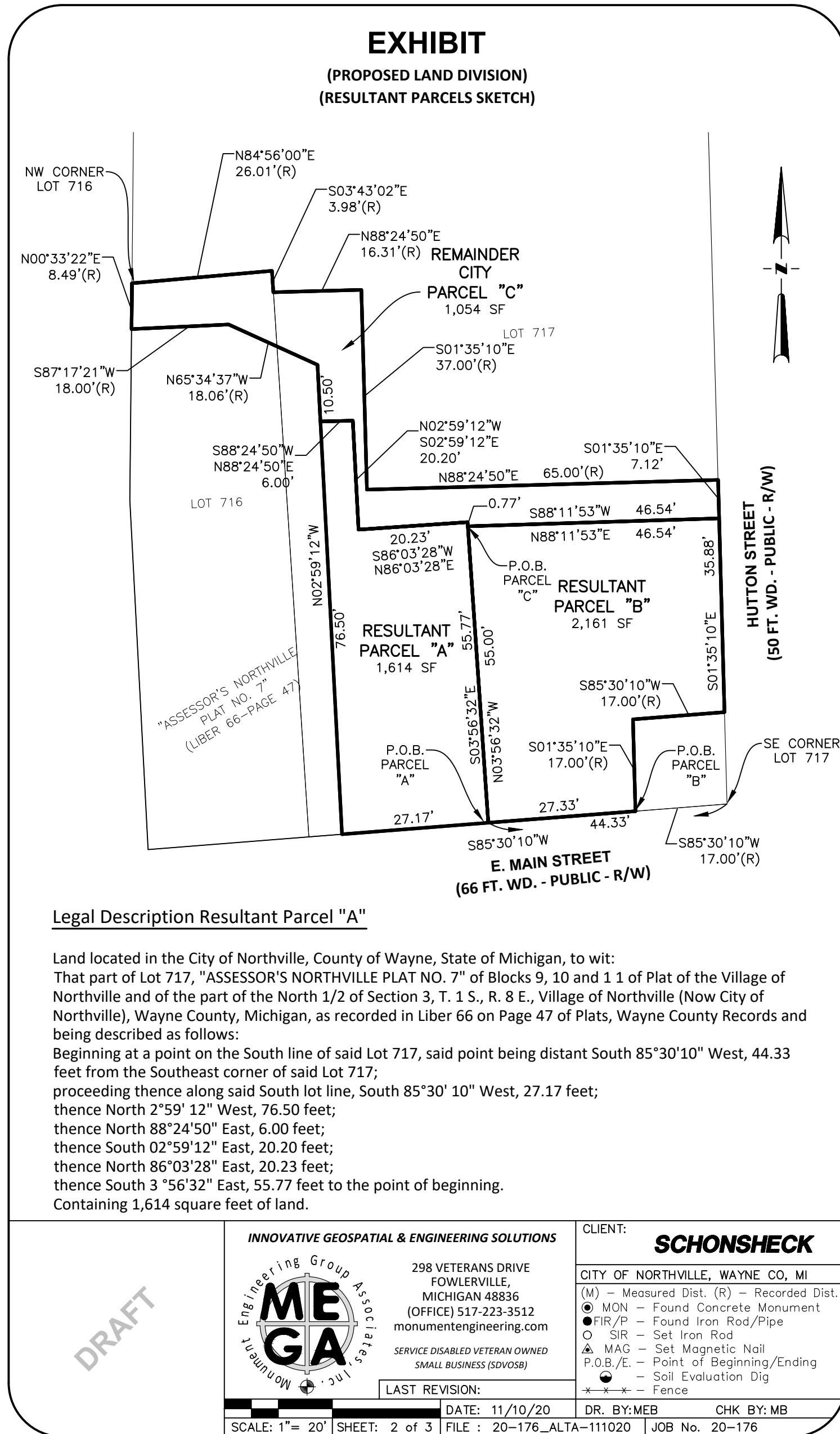
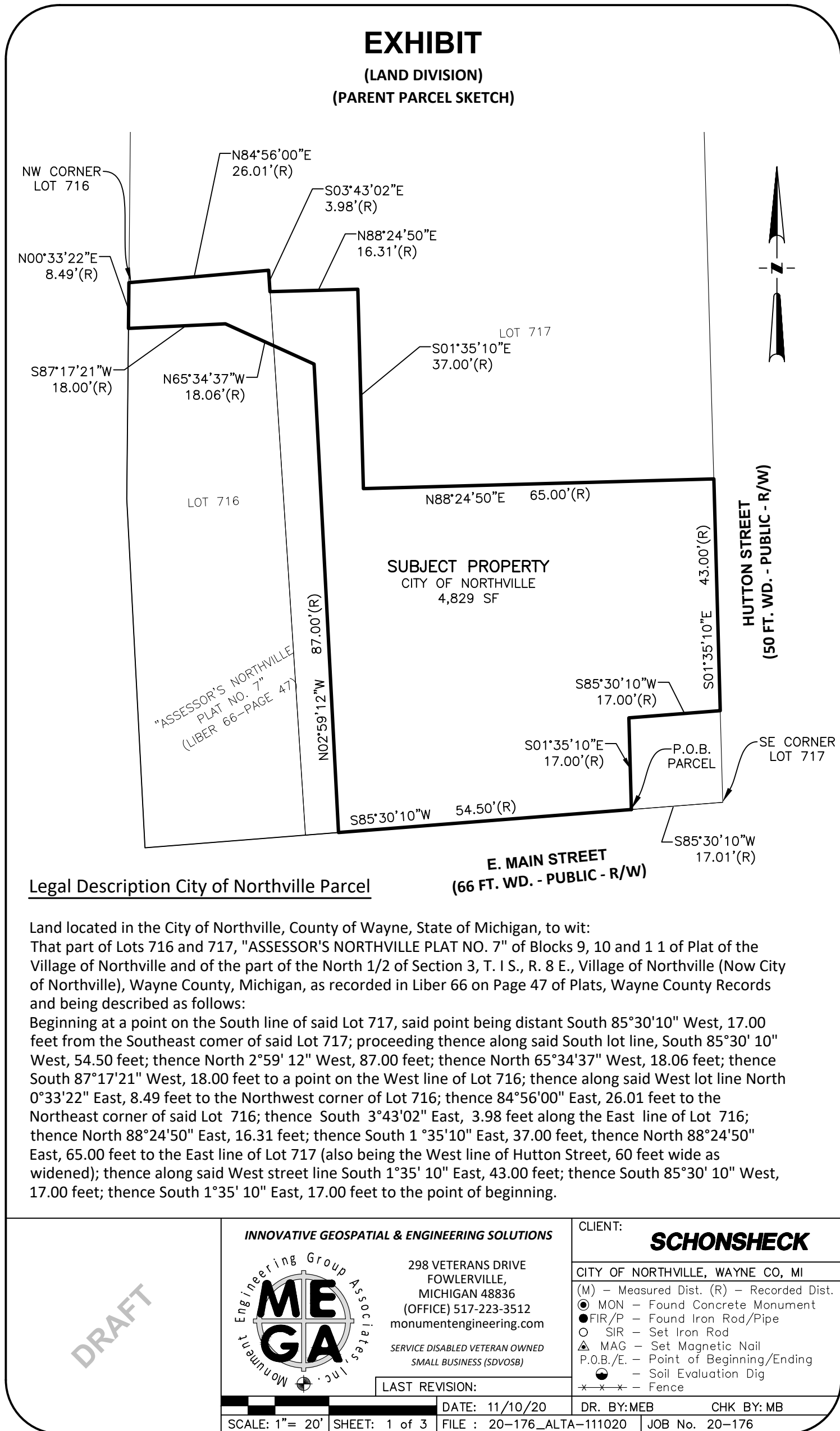
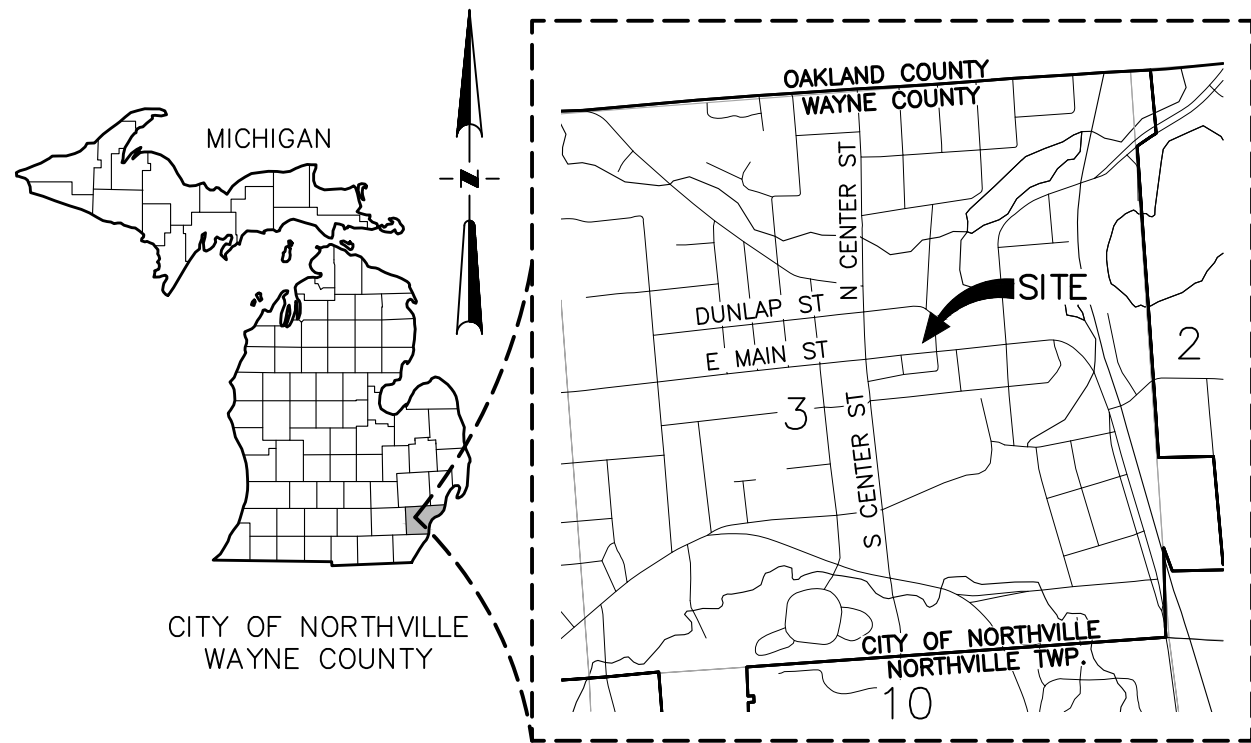
Approved By:

(signature)

(title)



LOCATION MAP



INNOVATIVE GEOSPATIAL
& ENGINEERING SOLUTIONS

Engineering Group Associates,
Inc.

MEGA

298 VETERANS DRIVE
FOWLERVILLE,
MICHIGAN 48833
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDOVBS)

Call MISS DIG
3 full working days before you dig:
Michigan's Utility
One-Call Notification
Organization
1-800-482-7171
www.missdig.org

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT :



PROPOSED LAND DIVISION EXHIBITS

PART OF NE 1/4, SEC. 3, T1S-R8E
CITY OF NORTHVILLE, WAYNE COUNTY, MI.

[illegible]

ORIGINAL ISSUE DATE:
10/30/20

PROJECT NO: 20-176

SCALE: 1" = 10'


A horizontal scale bar with a black and white alternating pattern. It is marked with '0' at the left end, '1/2"' in the middle, and '1"' at the right end.


FIELD: AJS
DRAWN BY: BN
DESIGN BY: N/A
CHECK BY: MEB


EXHIBIT

NOT FOR CONSTRUCTION

NOTE:

 REFER TO PARTITION TYPES, SHEET A-801

 REFER TO PLUMBING FIXTURE SCHEDULE SHEET A-401.

 REFER TO DOOR SCHEDULE, SHEET A-901. ALL DOOR ROUGH OPENINGS ARE TO BE 4" FROM NEAREST PERPENDICULAR WALL ON HINGE SIDE, UNLESS NOTED OTHERWISE.

REINFORCE DOOR JAMBS AND HEAD AS NECESSARY AND PROVIDE CONTROL JOINTS ON EACH SIDE AT ROLLING STEEL DOORS.

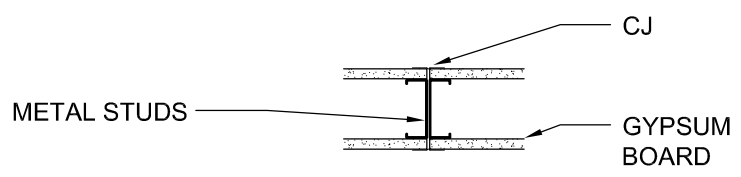
1/2" OF SHELF AND ROD AT EACH CLOSET TO BE MOUNTED AT 4'-0" A.F.F. SEE MOUNTING HEIGHT SCHEDULE SHEET A-402.

FIELD VERIFY LOCATIONS OF ALL EXISTING COLUMNS, WALLS, WINDOWS, DOORS, AND ELEC./MECH./PLUMBING BEFORE BEGINNING WORK.


FIELD LOCATE ALL FIRE EXTINGUISHERS AND CABINETS BASED ON LOCAL AUTHORITY AND INTERNATIONAL FIRE CODE REQUIREMENTS, COORDINATE WITH FIRE MARSHAL.


NOTE:


1. LOCATE CONTROL JOINTS (CJ) IN GYP. BOARD WALLS AT DOOR OPENINGS ABOVE STRIKE SIDE OF JAMB WHERE POSSIBLE AT 20'-0" O.C. MAX. AND IN CEILINGS AS INDICATED ON RCP. COORDINATE WITH SUPERINTENDENT.

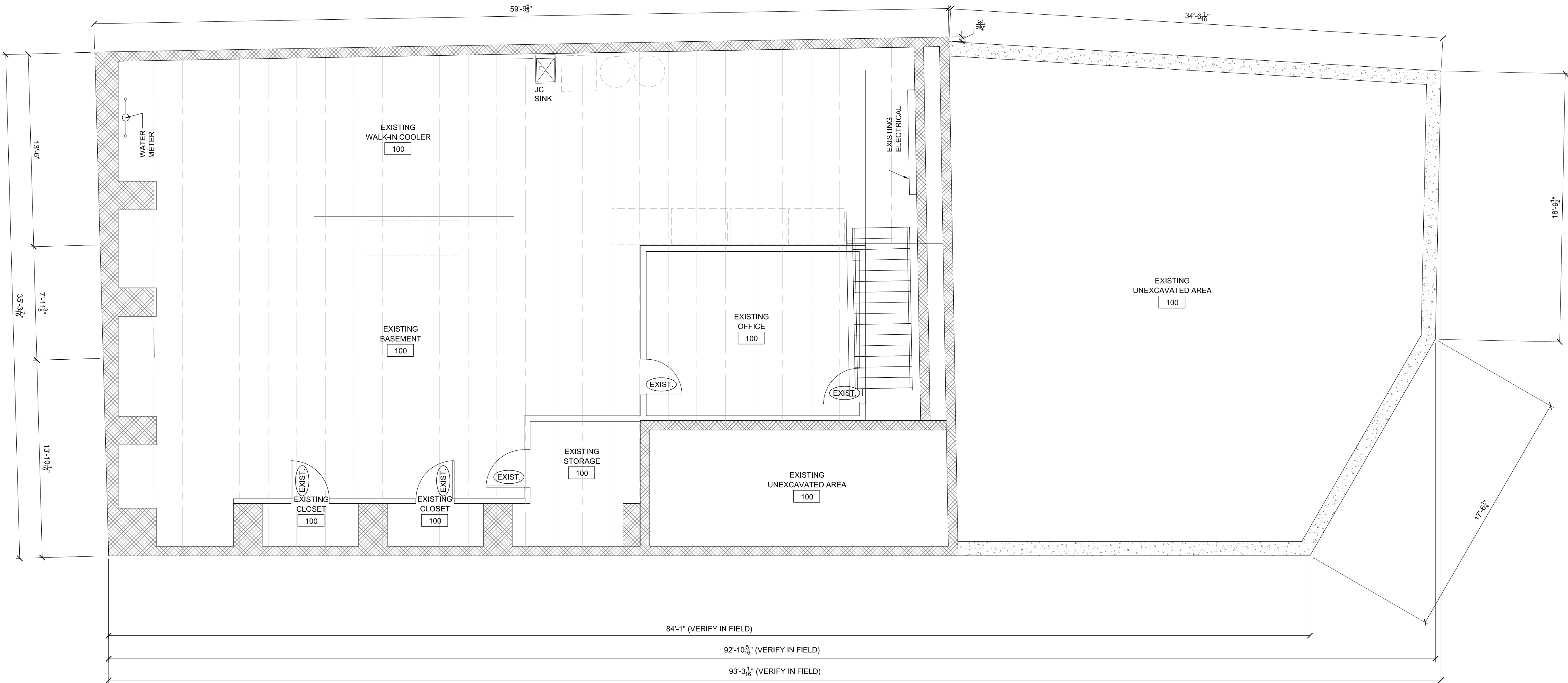


WALL TYPE LEGEND

EXISTING WALL
 SEE PLAN

WALL TO BE REMOVED
 SEE PLAN

NEW WALL
 SEE PLAN

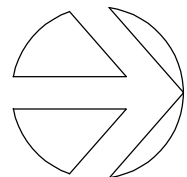


NOTES:

1. FINISH FLOOR ELEVATION = 100'-0"

2. SEE SHEET A-210 FOR COLUMN GRID DIMENSIONS.

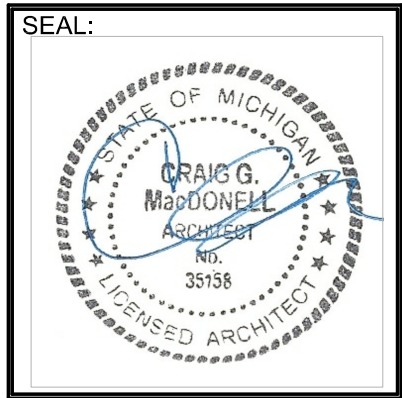
3. SEE SHEET A-80X FOR PARTITION TYPES.




BASEMENT PLAN - EXISTING CONDITIONS

SCALE: 1/4" = 1'-0"


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312 E. LIBERTY ST.
MILFORD, MICHIGAN 48381
(248) 302-0158 CELL
ravensrock@msn.com




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NEW INTERIOR IMPROVEMENTS FOR:

POOLE'S TAVERN
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715

PROJECT:

POOLE'S TAVERN LLC
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715

OWNER:

CONTACT: GRANT / ROB BADIS

ISSUED FOR:

OWNER REVIEW	DATE
OWNER CONCEPT REVISIONS	DATE
OWNER CONCEPT REVISIONS	DATE

SHEET CONTENT:

EXISTING CONDITIONS
BASEMENT
FLOOR PLAN

FILE NO.:
PT-20-035

SHEET NO.:
EC-110

NOTE:

REFER TO PARTITION TYPES, SHEET A-801

REFER TO PLUMBING FIXTURE SCHEDULE SHEET A-401.

REFER TO DOOR SCHEDULE, SHEET A-901. ALL DOOR ROUGH OPENINGS ARE TO BE 4" FROM NEAREST PERPENDICULAR WALL ON HINGE SIDE, UNLESS NOTED OTHERWISE.

REINFORCE DOOR JAMBS AND HEAD AS NECESSARY AND PROVIDE CONTROL JOINTS ON EACH SIDE AT ROLLING STEEL DOORS.

1/2" OF SHELF AND ROD AT EACH CLOSET TO BE MOUNTED AT 4'-0" A.F.F. SEE MOUNTING HEIGHT SCHEDULE SHEET A-402.

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METAL STUDS

CJ

GYPSUM BOARD

WALL TYPE LEGEND

EXISTING WALL

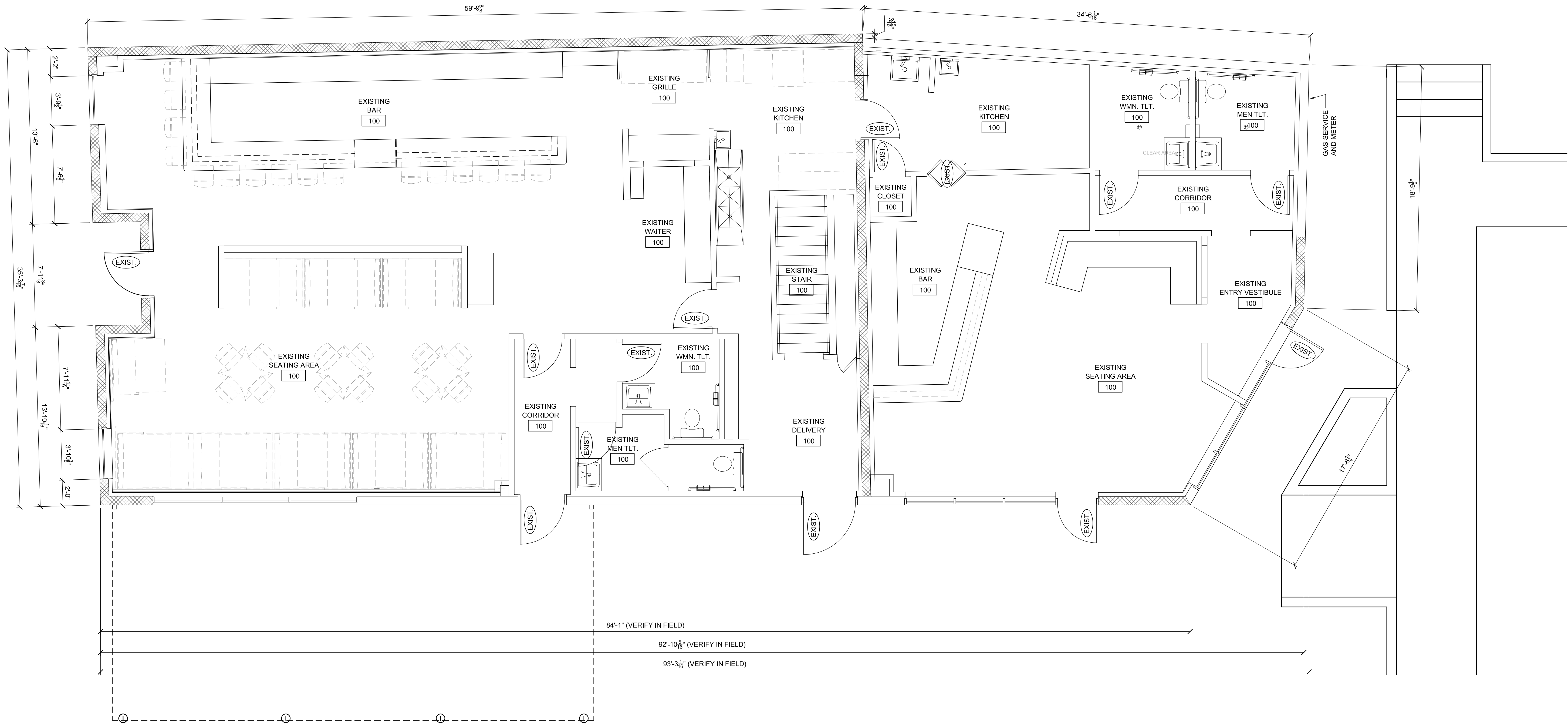
SEE PLAN

WALL TO BE REMOVED

SEE PLAN

NEW WALL

SEE PLAN

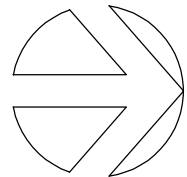


NOTES:

1. FINISH FLOOR ELEVATION = 100'-0"

2. SEE SHEET A-210 FOR COLUMN GRID DIMENSIONS.

3. SEE SHEET A-80X FOR PARTITION TYPES.



FIRST LEVEL FLOOR PLAN - EXISTING CONDITIONS

SCALE: 1/4" = 1'-0"

MACDONELL ASSOCIATES

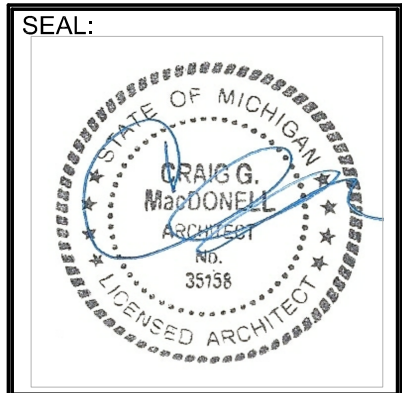
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NEW INTERIOR IMPROVEMENTS FOR:

POOLE'S TAVERN

157 MAIN STREET

NORTHVILLE, MI. 48167

(248) - 349-1715

POOLE'S TAVERN LLC

157 MAIN STREET

NORTHVILLE, MI. 48167

(248) - 349-1715 CONTACT: GRANT / ROB BADIS

ISSUED FOR:	OWNER REVIEW	DATE
	OWNER CONCEPT REVISIONS	
	OWNER CONCEPT REVISIONS	
	OWNER CONCEPT REVISIONS	
	OWNER CONCEPT REVISIONS	
	OWNER CONCEPT REVISIONS	

SHEET CONTENT:

EXISTING CONDITIONS

FIRST LEVEL

FLOOR PLAN


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PT-20-035


SHEET NO.:

EC-210

NOTE:

 REFER TO PARTITION TYPES, SHEET A-801

 REFER TO PLUMBING FIXTURE SCHEDULE SHEET A-401.

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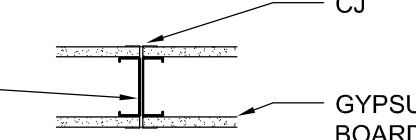
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CJ

METAL STUDS


GYPSUM BOARD

WALL TYPE LEGEND


EXISTING WALL

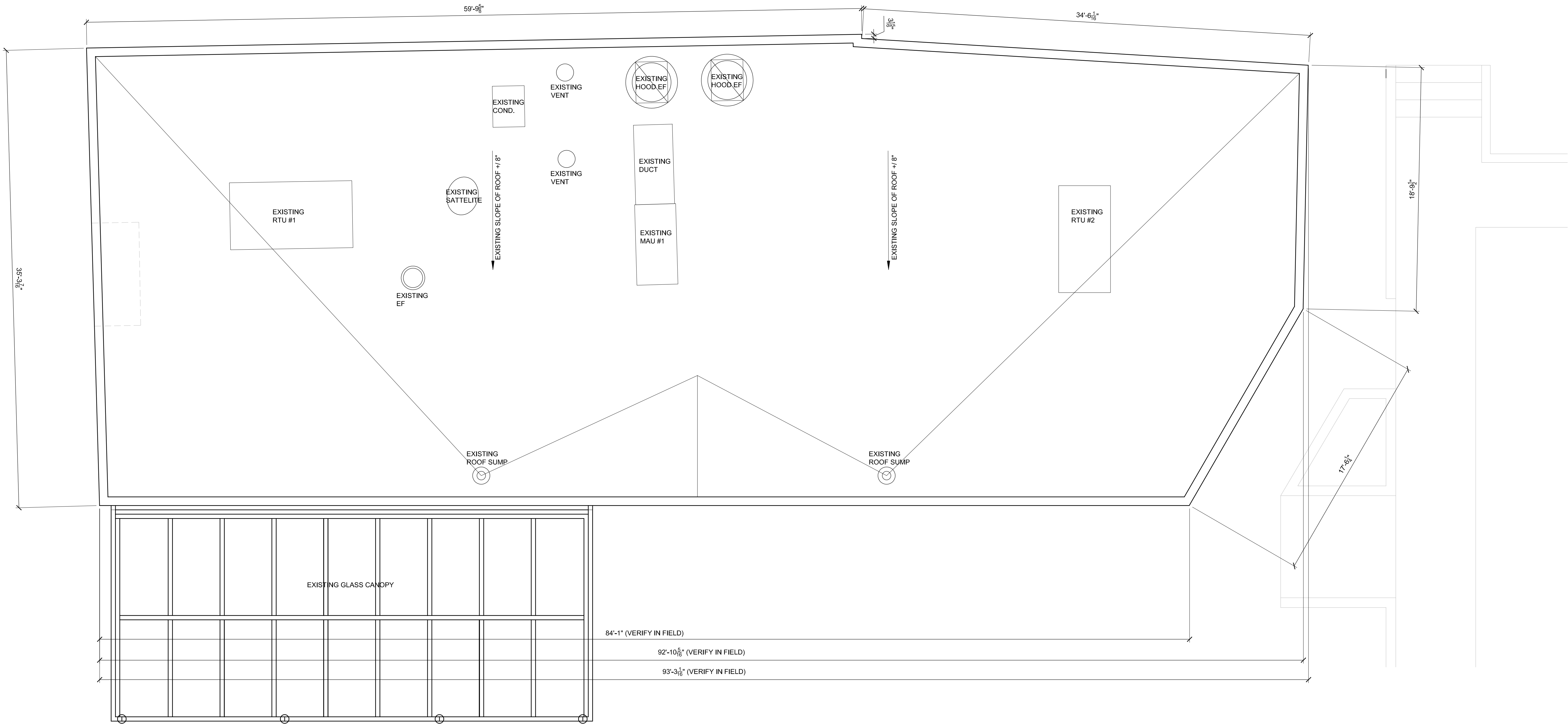
 SEE PLAN

WALL TO BE REMOVED

 SEE PLAN

NEW WALL

 SEE PLAN

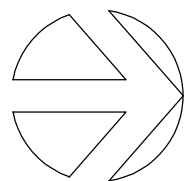


NOTES:

1. FINISH FLOOR ELEVATION = 100'-0"

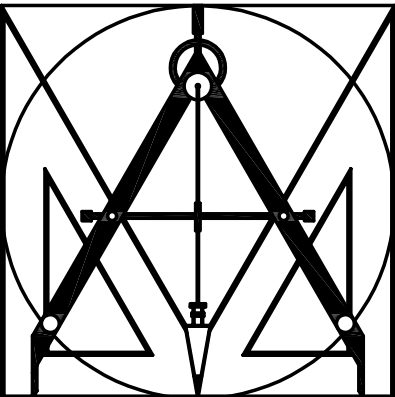
2. SEE SHEET A-210 FOR COLUMN GRID DIMENSIONS.

3. SEE SHEET A-80X FOR PARTITION TYPES.



FIRST LEVEL ROOF PLAN - EXISTING CONDITIONS

SCALE: 1/4" = 1'-0"



MACDONELL ASSOCIATES

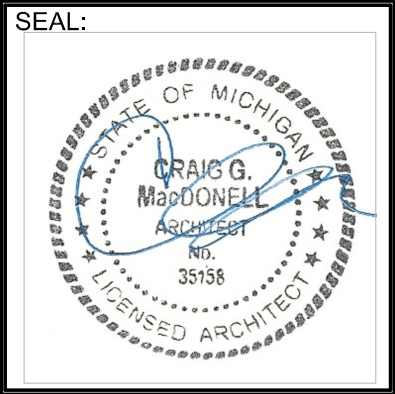
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MILFORD, MICHIGAN 48381

(248) 302-0158 CELL

ravensrock@msn.com



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PROJECT: NEW INTERIOR IMPROVEMENTS FOR:

POOLE'S TAVERN
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715

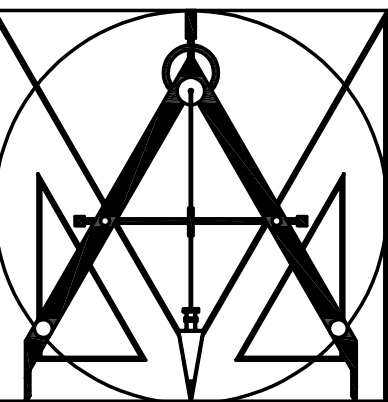
OWNER: POOLE'S TAVERN LLC
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715 CONTACT: GRANT / ROB BADIS

ISSUED FOR:	DATE	BY	REVISION
OWNER REVIEW	10/24/2020	CM	1
OWNER CONCEPT REVISIONS	10/24/2020	CM	2
OWNER CONCEPT REVISIONS	11/02/2020	CM	3

SHEET CONTENT:
**EXISTING CONDITIONS
FIRST LEVEL
ROOF PLAN**

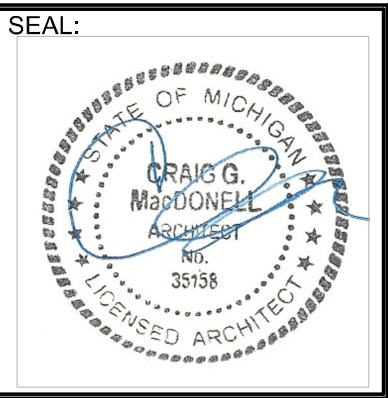
FILE NO.:
PT-20-035

SHEET NO.:
EC-230



MACDONELL ASSOCIATES
ARCHITECTURE ♦ PLANNING ♦ INTERIORS

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MILFORD, MICHIGAN 48381
(248) 302-0158 CELL
ravensrock@msn.com



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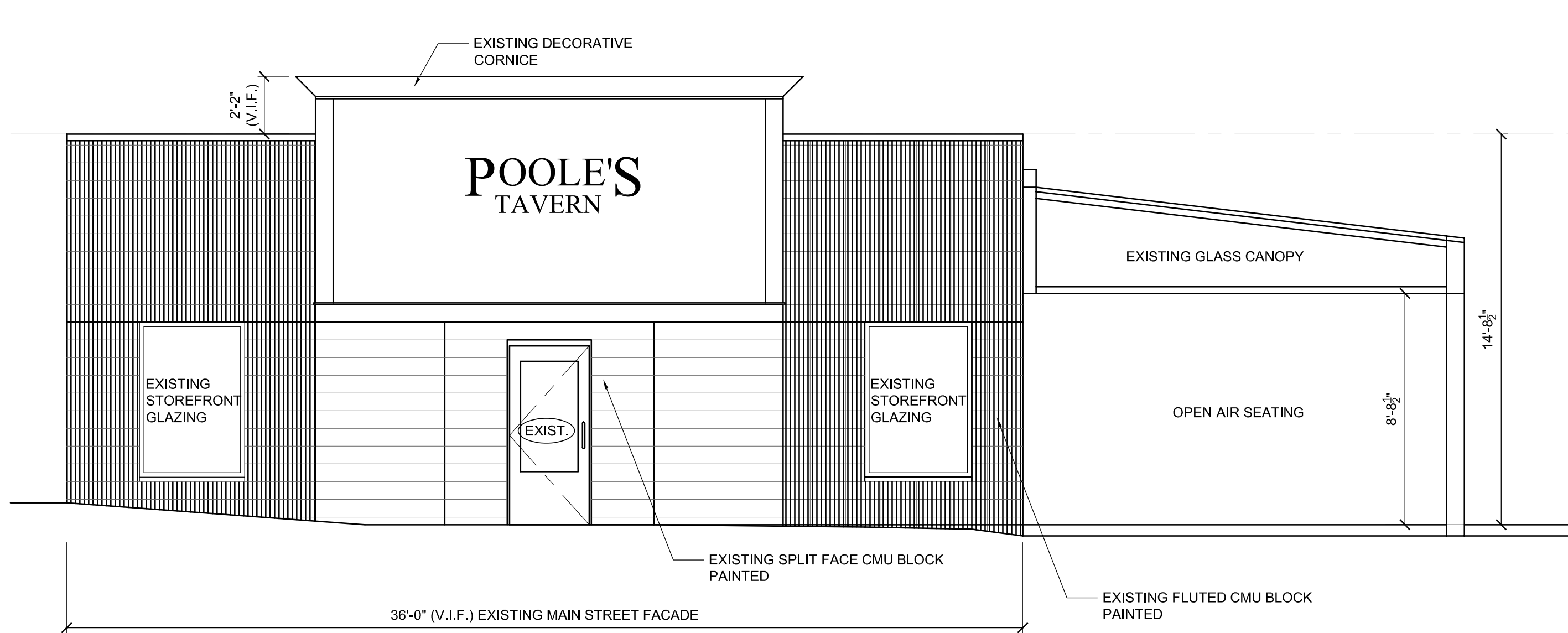
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NEW INTERIOR IMPROVEMENTS FOR:
POOLE'S TAVERN
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715
PROJECT:
OWNER:
POOLE'S TAVERN LLC
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715 CONTACT: GRANT / ROB BADIS

ISSUED FOR:	OWNER REVIEW	PERMIT	OWNER CONCEPT REVISIONS
DATE	DATE	DATE	DATE
10.24.2020			
11.14.2020			
11.02.2020			

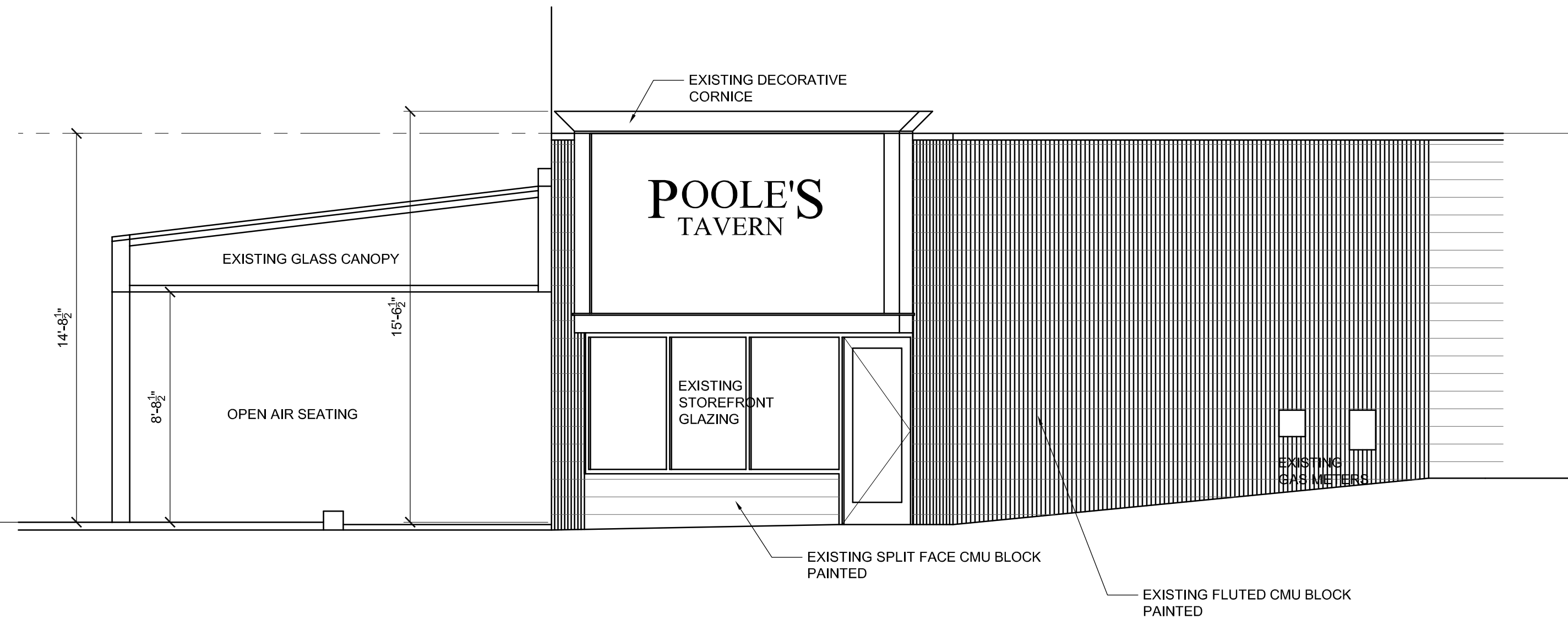
SHEET CONTENT:
EXISTING CONDITIONS EXTERIOR ELEVATIONS

FILE NO.:
PT-20-035
SHEET NO.:
EC-301



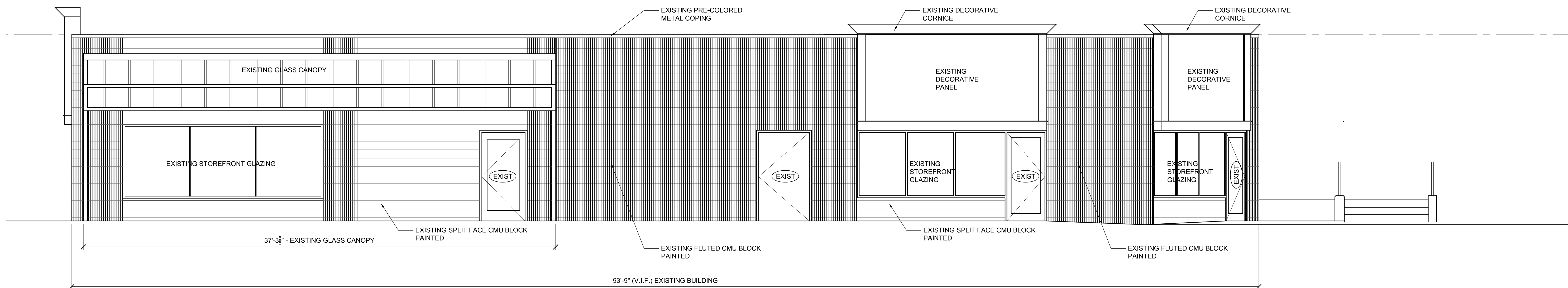
EXISTING SOUTH ELEVATION (MAIN STREET)

SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION


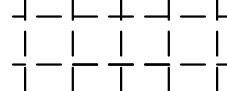
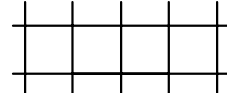
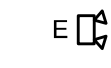
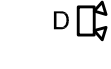
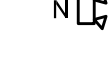

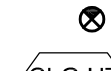

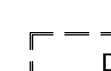



SCALE: 1/4" = 1'-0"











EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

-  NEW GYPSUM BOARD CEILING, HEADER OR SOFFIT
-  EXIST 2' X 2' CEILING GRID AND 2' X 2' SECOND LOOK PADS TO BE REMOVED
-  NEW 2' X 2' CEILING GRID AND 2' X 2' PADS
-  EXIST. BATTERY BACK-UP EMERGENCY WALL / CLG. PACK.
-  BATTERY BACK-UP EMERGENCY WALL / CLG. PACK TO BE REMOVED
-  NEW BATTERY BACK-UP EMERGENCY WALL / CLG. PACK.
-  EXIST EXIT LIGHT TO REMAIN
-  EXIST EXIT LIGHT TO BE REMOVED
-  EXIST EXIT LIGHT TO REMAIN
-  FINISHED CEILING ELEVATION
-  EXIST. 2 X 4 LAY-IN RECESSED LED LIGHT FIXTURE TO REMAIN
-  EXIST. 2 X 4 LAY-IN RECESSED FLUORESCENT LIGHT FIXTURE TO BE REMOVED
-  EXIST 2 X 4 LAY-IN RECESSED FLUORESCENT NIGHT LIGHT FIXTURE TO REMAIN

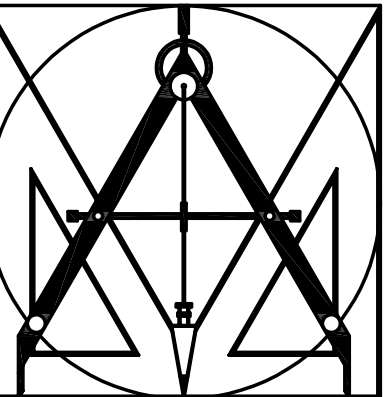
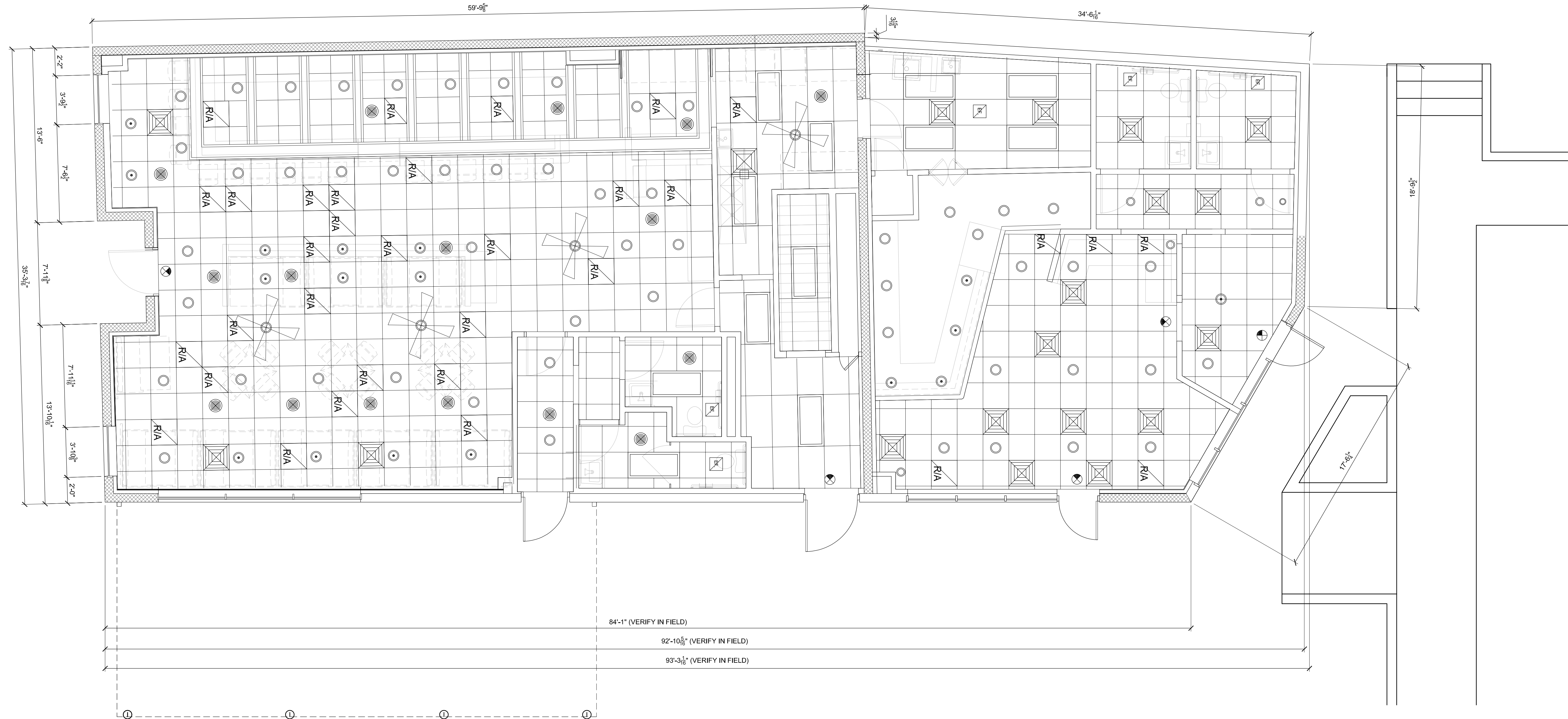
-  EXIST. 2 X 2 LAY-IN RECESSED FLUORESCENT LIGHT FIXTURE TO BE RE-USED / RELOCATED
-  EXIST. 2 X 2 LAY-IN RECESSED FLUORESCENT LIGHT FIXTURE TO BE RE-USED / RELOCATED
-  EXIST. 2 X 2 LAY-IN RECESSED FLUORESCENT LIGHT FIXTURE TO BE REMOVED
-  NEW 2 X 2 LAY-IN RECESSED LED LIGHT FIXTURE SOME WITH EMERGENCY LIGHT FEATURE
-  EXIST DOWN LIGHT TO REMAIN
-  EXIST DOWN LIGHT TO BE RELOCATED
-  EXIST DOWN LIGHT TO BE REMOVED
-  NEW LED DOWN LIGHT - LUMEN 1200 + COLOR 4000K

NOTE:

WHERE FULL LAY-IN CEILING TILES ARE AT ROOM'S EDGE, INCREASE WIDTH OF FLANGE UP TO 2" TO AVOID NARROW CUTS.

NOTE:
ALL CEILINGS ARE AT "NEW," A.F.F. HGT. UNLESS NOTED OTHERWISE.

ALL HVAC IS EXISTING AND LOCATIONS ARE SHOWN FOR REFERENCE ONLY - EXIST. FURNACE UNIT TO REMAIN / NEW DUCT WORK BY CONTRACTOR



MACDONELL ASSOCIATES

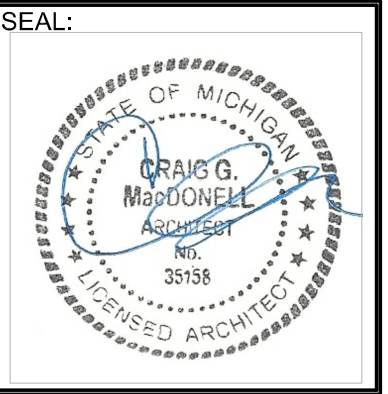
ARCHITECTURE ♦ PLANNING ♦ INTERIORS

312 E. LIBERTY ST.

MILFORD, MICHIGAN 48381

(248) 302-0158 CELL

ravensrock@msn.com



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50555 PONTIAC TRAIL WIXOM, MI 48393
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NEW INTERIOR IMPROVEMENTS FOR:
POOLE'S TAVERN
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715
POOLE'S TAVERN LLC
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715 CONTACT: GRANT / ROB BADIS

ISSUED FOR:	OWNER REVIEW	ARCHITECT	DATE
	OWNER CONCEPT REVISIONS		
	OWNER CONCEPT REVISIONS		

SHEET CONTENT:
EXISTING
CONDITIONS
CEILING
PLAN

FILE NO.:
PT-20-035

SHEET NO.:
EC-610

NOTE:

X REFER TO PARTITION TYPES, SHEET A-801

X REFER TO PLUMBING FIXTURE SCHEDULE SHEET A-401.

X REFER TO DOOR SCHEDULE, SHEET A-901. ALL DOOR ROUGH OPENINGS ARE TO BE 4" FROM NEAREST PERPENDICULAR WALL ON HINGE SIDE, UNLESS NOTED OTHERWISE.

REINFORCE DOOR JAMBS AND HEAD AS NECESSARY AND PROVIDE CONTROL JOINTS ON EACH SIDE AT ROLLING STEEL DOORS.

½ OF SHELF AND ROD AT EACH CLOSET TO BE MOUNTED AT 4'-0" A.F.F. SEE MOUNTING HEIGHT SCHEDULE SHEET A-402.

FIELD VERIFY LOCATIONS OF ALL EXISTING COLUMNS, WALLS, WINDOWS, DOORS, AND ELEC./MECH./PLUMBING BEFORE BEGINNING WORK.

FIELD LOCATE ALL FIRE EXTINGUISHERS AND CABINETS BASED ON LOCAL AUTHORITY AND INTERNATIONAL FIRE CODE REQUIREMENTS, COORDINATE WITH FIRE MARSHAL.

NOTE:

1. LOCATE CONTROL JOINTS (CJ) IN GYP. BOARD WALLS AT DOOR OPENINGS ABOVE STRIKE SIDE OF JAMB WHERE POSSIBLE AT 20'-0" O.C. MAX. AND IN CEILINGS AS INDICATED ON RCP. COORDINATE WITH SUPERINTENDENT.

METAL STUDS

CJ

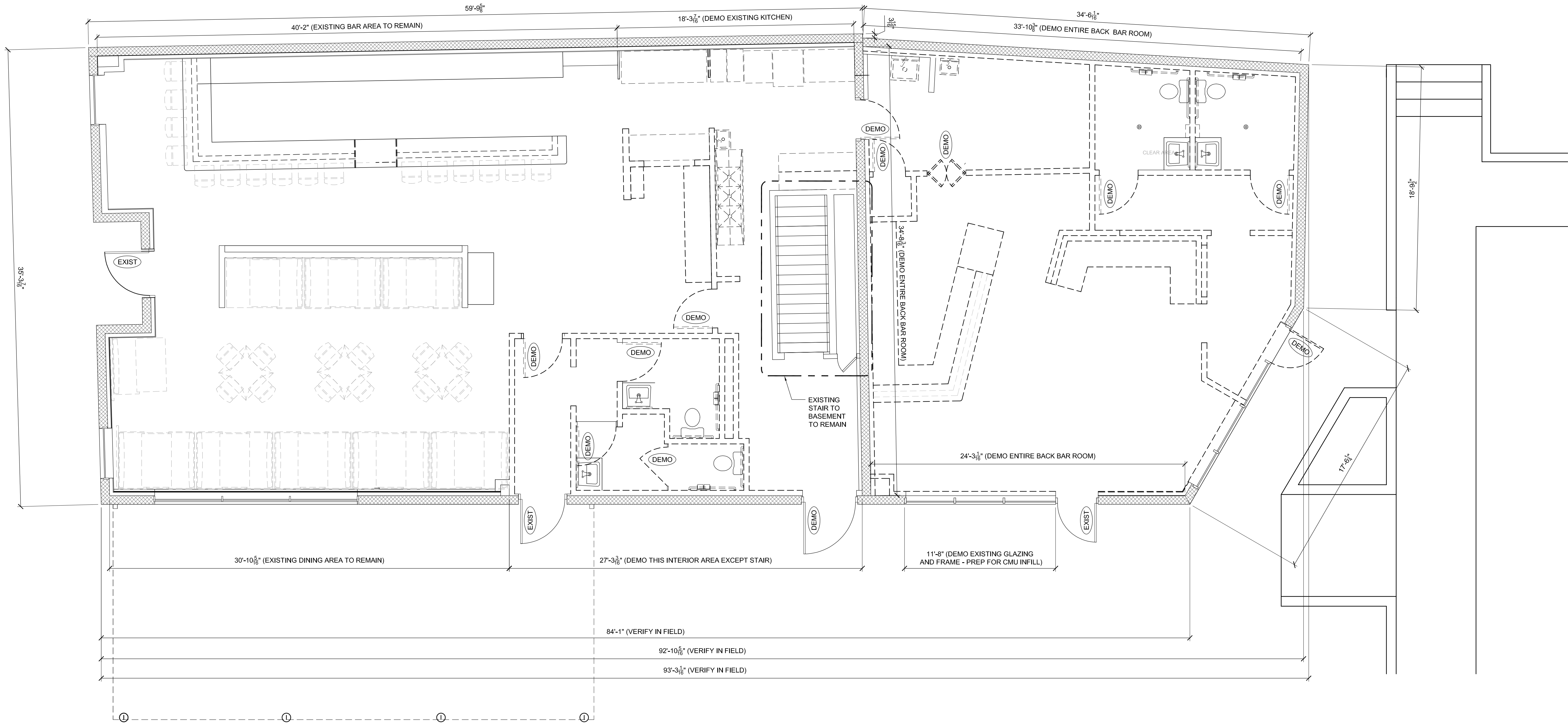
GYPSUM BOARD

WALL TYPE LEGEND

EXISTING WALL

WALL TO BE REMOVED

NEW WALL

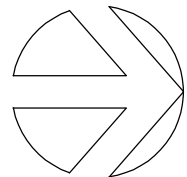


NOTES:

1. FINISH FLOOR ELEVATION = 100'-0"

2. SEE SHEET A-210 FOR COLUMN GRID DIMENSIONS.

3. SEE SHEET A-80X FOR PARTITION TYPES.



FIRST FLOOR PLAN - PROPOSED DEMOLITION WORK

SCALE: 1/4" = 1'-0"

MACDONELL ASSOCIATES

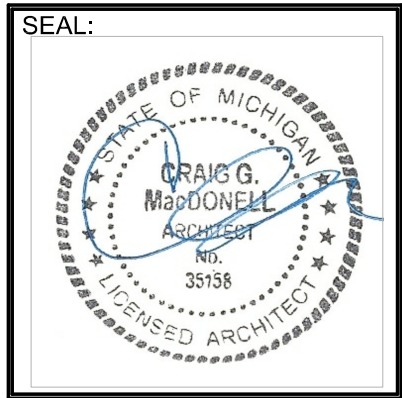
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NEW INTERIOR IMPROVEMENTS FOR:

POOLE'S TAVERN

157 MAIN STREET

NORTHVILLE, MI. 48167

(248) - 349-1715

POOLE'S TAVERN LLC

157 MAIN STREET

NORTHVILLE, MI. 48167

(248) - 349-1715 CONTACT: GRANT / ROB BADIS

ISSUED FOR:	DATE	BY
OWNER REVIEW	10/14/2020	MACDONELL
OWNER CONCEPT REVISIONS	10/14/2020	MACDONELL
OWNER CONCEPT REVISIONS	11/02/2020	MACDONELL

SHEET CONTENT:

DEMOLITION WORK

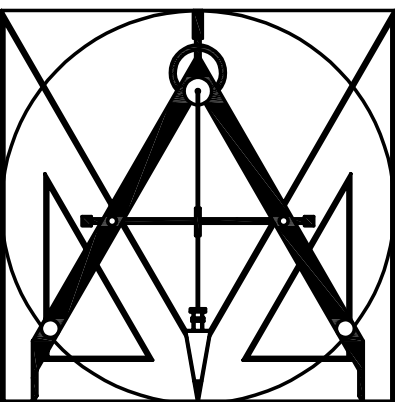
FLOOR PLN

FILE NO.:

PT-20-035

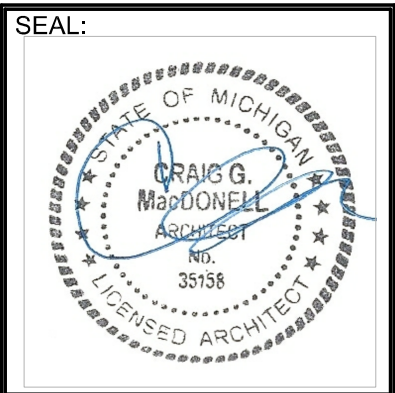
SHEET NO.:

D-210



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MILFORD, MICHIGAN 48381
(248) 302-0158 CELL
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P: 248.669.8800 F: 248.669.0650
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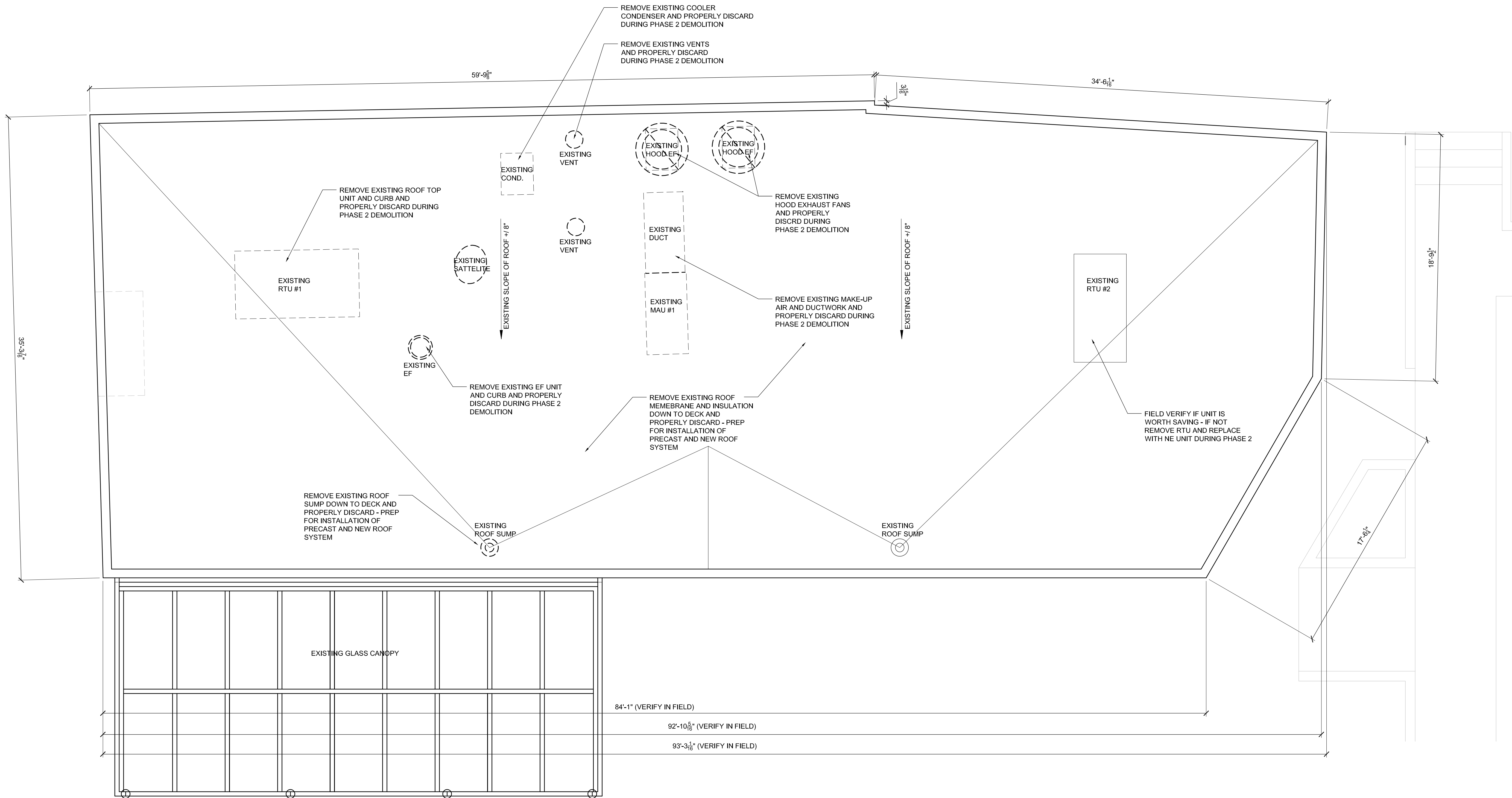
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NEW INTERIOR IMPROVEMENTS FOR:
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(248) - 349-1715
POOLE'S TAVERN LLC
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715 CONTACT: GRANT / ROB BADIS

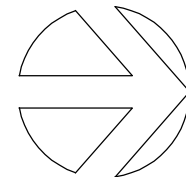
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DATE	DATE	DATE	DATE	DATE
10.24.2020	11.11.2020	11.11.2020	11.11.2020	11.11.2020

SHEET CONTENT:
DEMOLITION WORK
FIRST LEVEL
ROOF PLAN

FILE NO.:
PT-20-035
SHEET NO.:
D-230



NOTES:
1. FINISH FLOOR ELEVATION = 100'-0"
2. SEE SHEET A-210 FOR COLUMN GRID DIMENSIONS.
3. SEE SHEET A-80X FOR PARTITION TYPES.



FIRST LEVEL ROOF PLAN - PROPOSED DEMOLITION WORK
SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

- NEW GYPSUM BOARD CEILING, HEADER OR SOFFIT
- EXIST 2' X 2' CEILING GRID AND 2' X 2' SECOND LOOK PADS TO BE REMOVED
- NEW 2' X 2' CEILING GRID AND 2' X 2' PADS
- EXIST. BATTERY BACK-UP EMERGENCY WALL / CLG. PACK.
- BATTERY BACK-UP EMERGENCY WALL / CLG. PACK TO BE REMOVED
- NEW BATTERY BACK-UP EMERGENCY WALL / CLG. PACK.
- EXIST EXIT LIGHT TO REMAIN
- EXIST EXIT LIGHT TO BE REMOVED
- EXIST EXIT LIGHT TO REMAIN
- FINISHED CEILING ELEVATION
- EXIST. 2 X 4 LAY-IN RECESSED LED LIGHT FIXTURE TO REMAIN
- EXIST. 2 X 4 LAY-IN RECESSED FLUORESCENT LIGHT FIXTURE TO BE REMOVED
- EXIST 2 X 4 LAY-IN RECESSED FLUORESCENT NIGHT LIGHT FIXTURE TO REMAIN

- EXIST. 2 X 2 LAY-IN RECESSED FLUORESCENT LIGHT FIXTURE TO BE RE-USED / RELOCATED
- EXIST. 2 X 2 LAY-IN RECESSED FLUORESCENT LIGHT FIXTURE TO BE RE-USED / RELOCATED
- EXIST. 2 X 2 LAY-IN RECESSED FLUORESCENT LIGHT FIXTURE TO BE REMOVED
- NEW 2 X 2 LAY-IN RECESSED LED LIGHT FIXTURE SOME WITH EMERGENCY LIGHT FEATURE
- EXIST DOWN LIGHT TO REMAIN
- EXIST DOWN LIGHT TO BE RELOCATED
- EXIST DOWN LIGHT TO BE REMOVED
- NEW LED DOWN LIGHT - LUMEN 1200 + COLOR 4000K

NOTE:

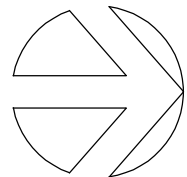
WHERE FULL LAY-IN CEILING TILES ARE AT ROOM'S EDGE, INCREASE WIDTH OF FLANGE UP TO 2" TO AVOID NARROW CUTS.

NOTE:
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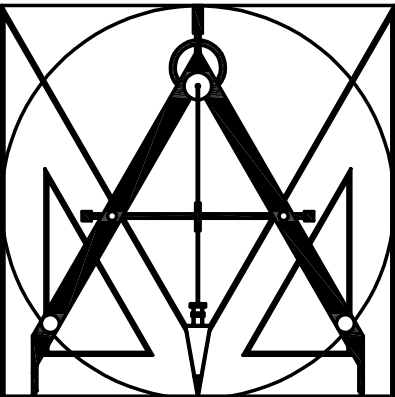


- NOTES:
1. FINISH FLOOR ELEVATION = 100'-0"
 2. SEE SHEET A-210 FOR COLUMN GRID DIMENSIONS.
 3. SEE SHEET A-80X FOR PARTITION TYPES.



FIRST LEVEL CEILING PLAN - PROPOSED DEMOLITION WORK

SCALE: 1/4" = 1'-0"



MACDONELL ASSOCIATES

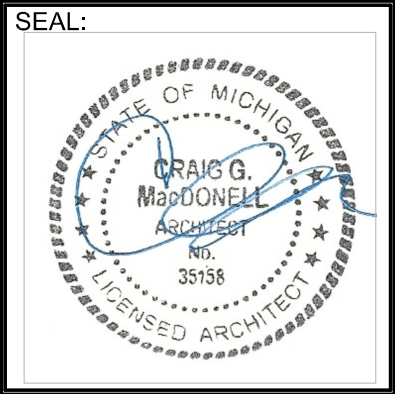
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PROJECT: NEW INTERIOR IMPROVEMENTS FOR:

POOLE'S TAVERN
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715

POOLE'S TAVERN LLC
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715 CONTACT: GRANT / ROB BADIS

OWNER:


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DATE:	10.24.2020	10.24.2020	11.02.2020


SHEET CONTENT:
**DEMOLITION
WORK
CEILING
PLAN**


FILE NO.:
PT-20-035

SHEET NO.:
D-610

NOTE:

 REFER TO PARTITION TYPES, SHEET A-801

 REFER TO PLUMBING FIXTURE SCHEDULE SHEET A-401.

 REFER TO DOOR SCHEDULE, SHEET A-901. ALL DOOR ROUGH OPENINGS ARE TO BE 4" FROM NEAREST PERPENDICULAR WALL ON HINGE SIDE, UNLESS NOTED OTHERWISE.

REINFORCE DOOR JAMBS AND HEAD AS NECESSARY AND PROVIDE CONTROL JOINTS ON EACH SIDE AT ROLLING STEEL DOORS.

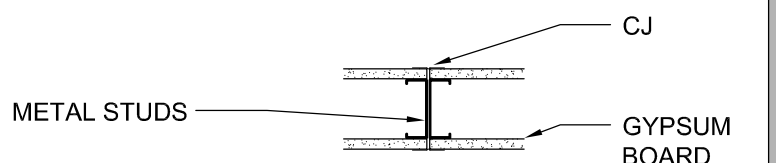
1/3 OF SHELF AND ROD AT EACH CLOSET TO BE MOUNTED AT 4'-0" A.F.F. SEE MOUNTING HEIGHT SCHEDULE SHEET A-402.

FIELD VERIFY LOCATIONS OF ALL EXISTING COLUMNS, WALLS, WINDOWS, DOORS, AND ELEC./MECH./PLUMBING BEFORE BEGINNING WORK.


FIELD LOCATE ALL FIRE EXTINGUISHERS AND CABINETS BASED ON LOCAL AUTHORITY AND INTERNATIONAL FIRE CODE REQUIREMENTS, COORDINATE WITH FIRE MARSHAL.


NOTE:


1. LOCATE CONTROL JOINTS (CJ) IN GYP. BOARD WALLS AT DOOR OPENINGS ABOVE STRIKE SIDE OF JAMB WHERE POSSIBLE AT 20'-0" O.C. MAX. AND IN CEILINGS AS INDICATED ON RCP. COORDINATE WITH SUPERINTENDENT.

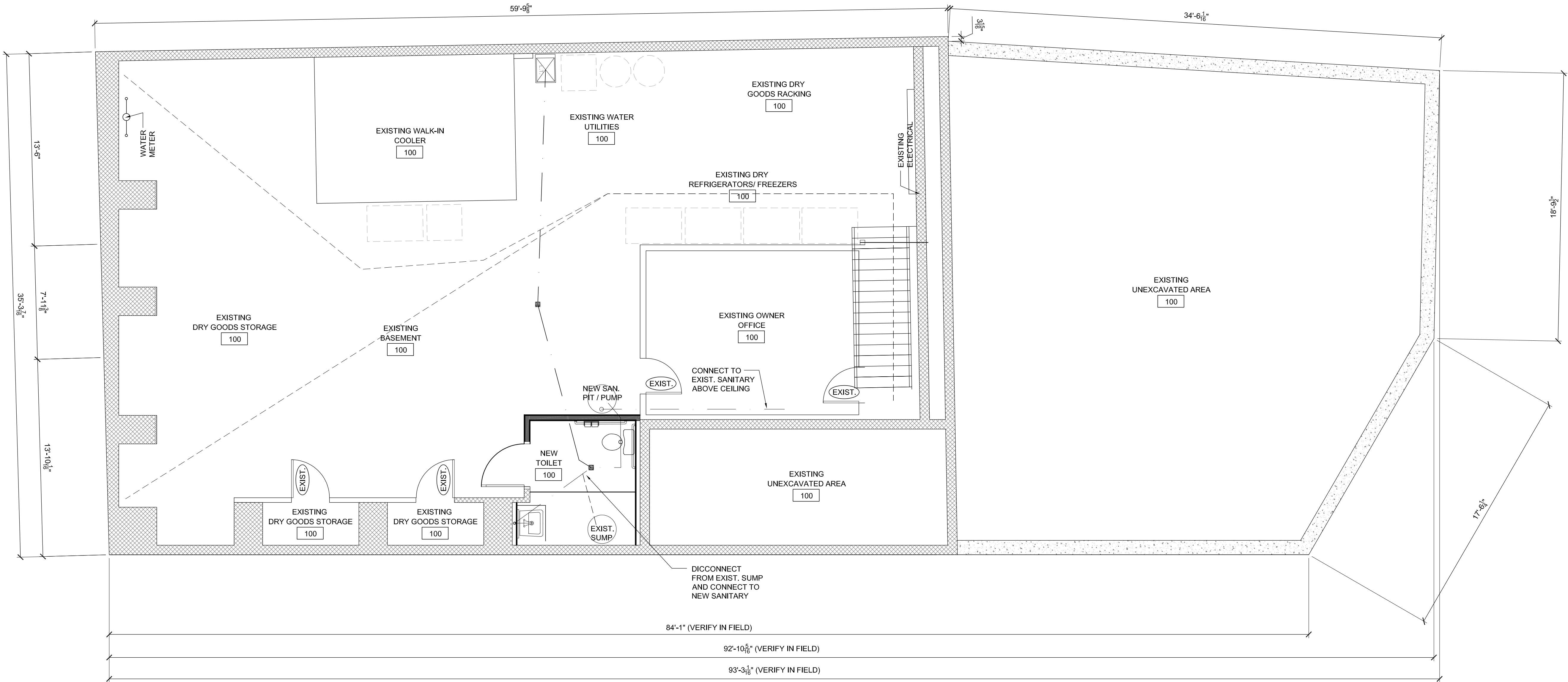


WALL TYPE LEGEND

EXISTING WALL
 SEE PLAN

WALL TO BE REMOVED
 SEE PLAN

NEW WALL
 SEE PLAN

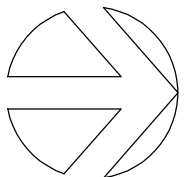


NOTES:

1. FINISH FLOOR ELEVATION = 100'-0"

2. SEE SHEET A-210 FOR COLUMN GRID DIMENSIONS.

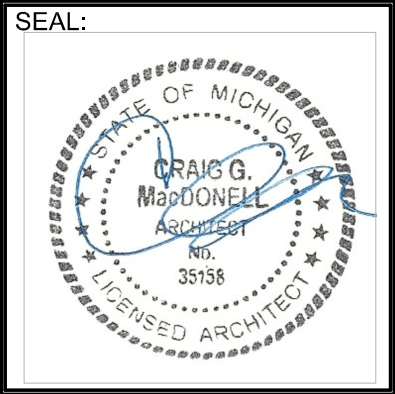
3. SEE SHEET A-80X FOR PARTITION TYPES.




BASEMENT PLAN - PROPOSED NEW WORK

SCALE: 1/4" = 1'-0"


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ARCHITECTURE ♦ PLANNING ♦ INTERIORS
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PROJECT: **NEW INTERIOR IMPROVEMENTS FOR:**
POOLE'S TAVERN
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715

OWNER: **POOLE'S TAVERN LLC**
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715 CONTACT: GRANT / ROB BADIS

ISSUED FOR:

DATE	BY	FOR
10.24.2020	OWNER REVIEW	PERMIT
11.14.2020	OWNER REVIEW	OWNER CONCEPT REVISIONS
11.02.2020	OWNER REVIEW	OWNER CONCEPT REVISIONS

SHEET CONTENT:
**PROPOSED
NEW WORK
BASEMENT
FLOOR PLAN**

FILE NO.:
PT-20-035

SHEET NO.:
A-110

100

FIELD LOCATE ALL FIRE EXTINGUISHERS AND CABINETS BASED ON LOCAL AUTHORITY AND INTERNATIONAL FIRE CODE REQUIREMENTS, COORDINATE WITH FIRE MARSHAL.

1 1

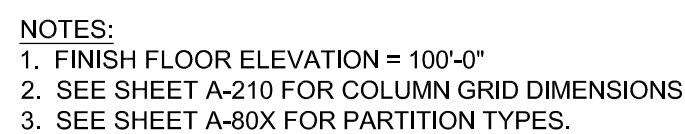
-
- CJ
- METAL STUDS
- GY

SEE DIAM

— — — — — SEE D. 1A

SEE PLAN

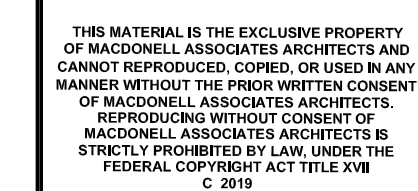
THE DIFFERENCE OF THE ALLOWED AMOUNT OF
NOT MORE THAN 3,000 IS 1384 SQ. FT. WHICH
WOULD BE ALLOWED ON THE ROOF.



SCALE: 1/4" = 1'-0"



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



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
PT-20-035

A-210

NOTE:

 REFER TO PARTITION TYPES, SHEET A-801

 REFER TO PLUMBING FIXTURE SCHEDULE SHEET A-401.

 REFER TO DOOR SCHEDULE, SHEET A-901. ALL DOOR ROUGH OPENINGS ARE TO BE 4" FROM NEAREST PERPENDICULAR WALL ON HINGE SIDE, UNLESS NOTED OTHERWISE.

REINFORCE DOOR JAMBS AND HEAD AS NECESSARY AND PROVIDE CONTROL JOINTS ON EACH SIDE AT ROLLING STEEL DOORS.

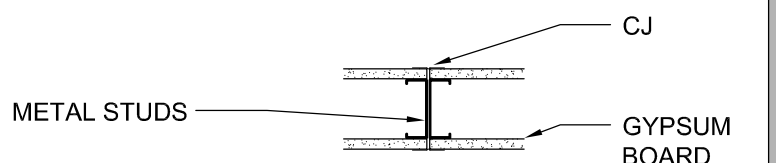
1/3 OF SHELF AND ROD AT EACH CLOSET TO BE MOUNTED AT 4'-0" A.F.F. SEE MOUNTING HEIGHT SCHEDULE SHEET A-402.

FIELD VERIFY LOCATIONS OF ALL EXISTING COLUMNS, WALLS, WINDOWS, DOORS, AND ELEC./MECH./PLUMBING BEFORE BEGINNING WORK.


FIELD LOCATE ALL FIRE EXTINGUISHERS AND CABINETS BASED ON LOCAL AUTHORITY AND INTERNATIONAL FIRE CODE REQUIREMENTS, COORDINATE WITH FIRE MARSHAL.


NOTE:


1. LOCATE CONTROL JOINTS (CJ) IN GYP. BOARD WALLS AT DOOR OPENINGS ABOVE STRIKE SIDE OF JAMB WHERE POSSIBLE AT 20'-0" O.C. MAX. AND IN CEILINGS AS INDICATED ON RCP. COORDINATE WITH SUPERINTENDENT.

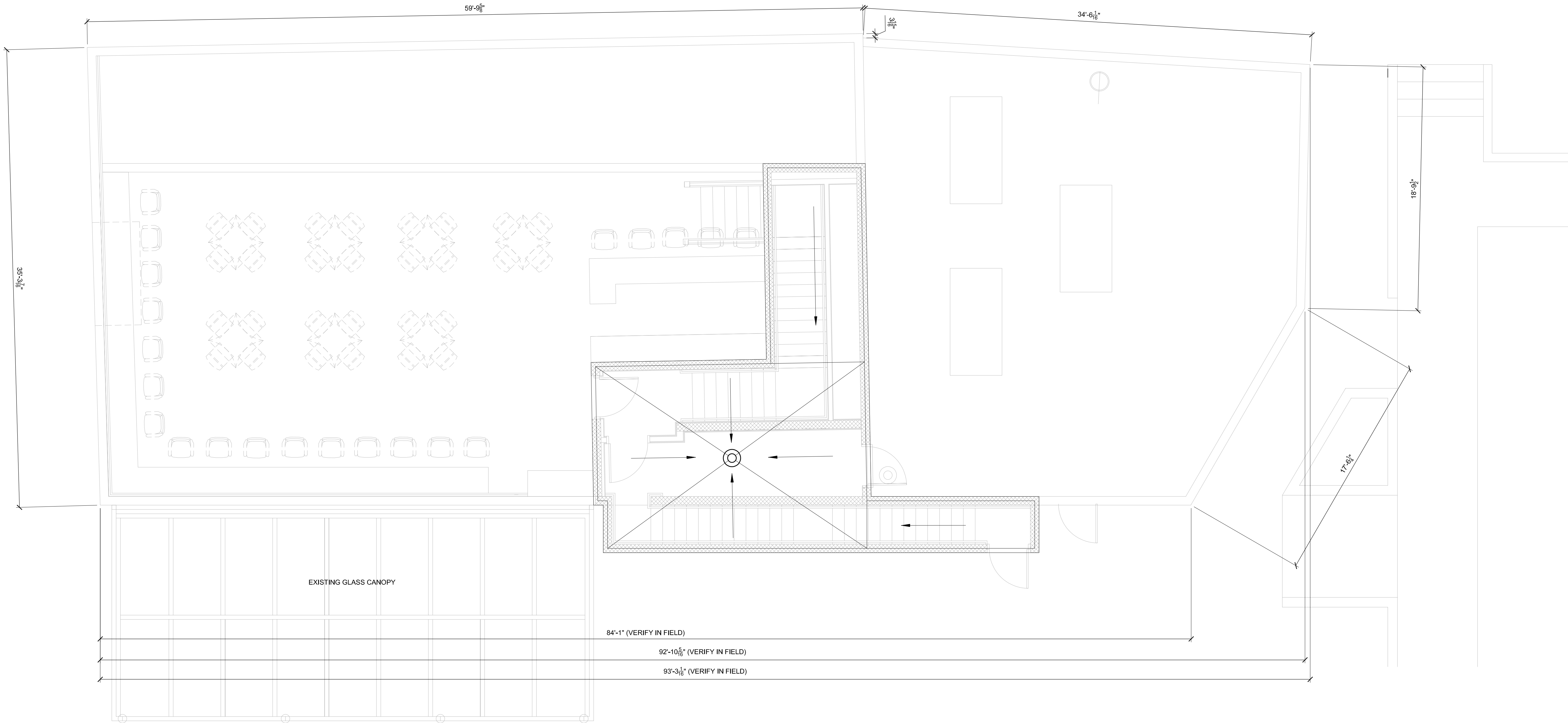


WALL TYPE LEGEND

EXISTING WALL  SEE PLAN

WALL TO BE REMOVED  SEE PLAN

NEW WALL  SEE PLAN

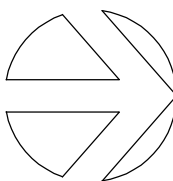


NOTES:

1. FINISH FLOOR ELEVATION = 100'-0"

2. SEE SHEET A-210 FOR COLUMN GRID DIMENSIONS.

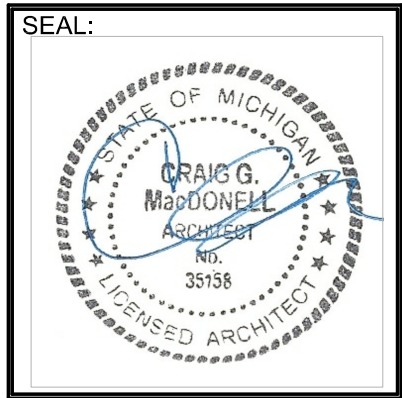
3. SEE SHEET A-80X FOR PARTITION TYPES.




FIRST FLOOR ROOF PLAN - PROPOSED NEW WORK

SCALE: 1/4" = 1'-0"


MACDONELL ASSOCIATES
ARCHITECTURE ♦ PLANNING ♦ INTERIORS
312 E. LIBERTY ST.
MILFORD, MICHIGAN 48381
(248) 302-0158 CELL
ravensrock@msn.com




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PROJECT: NEW INTERIOR IMPROVEMENTS FOR:
POOLE'S TAVERN
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715

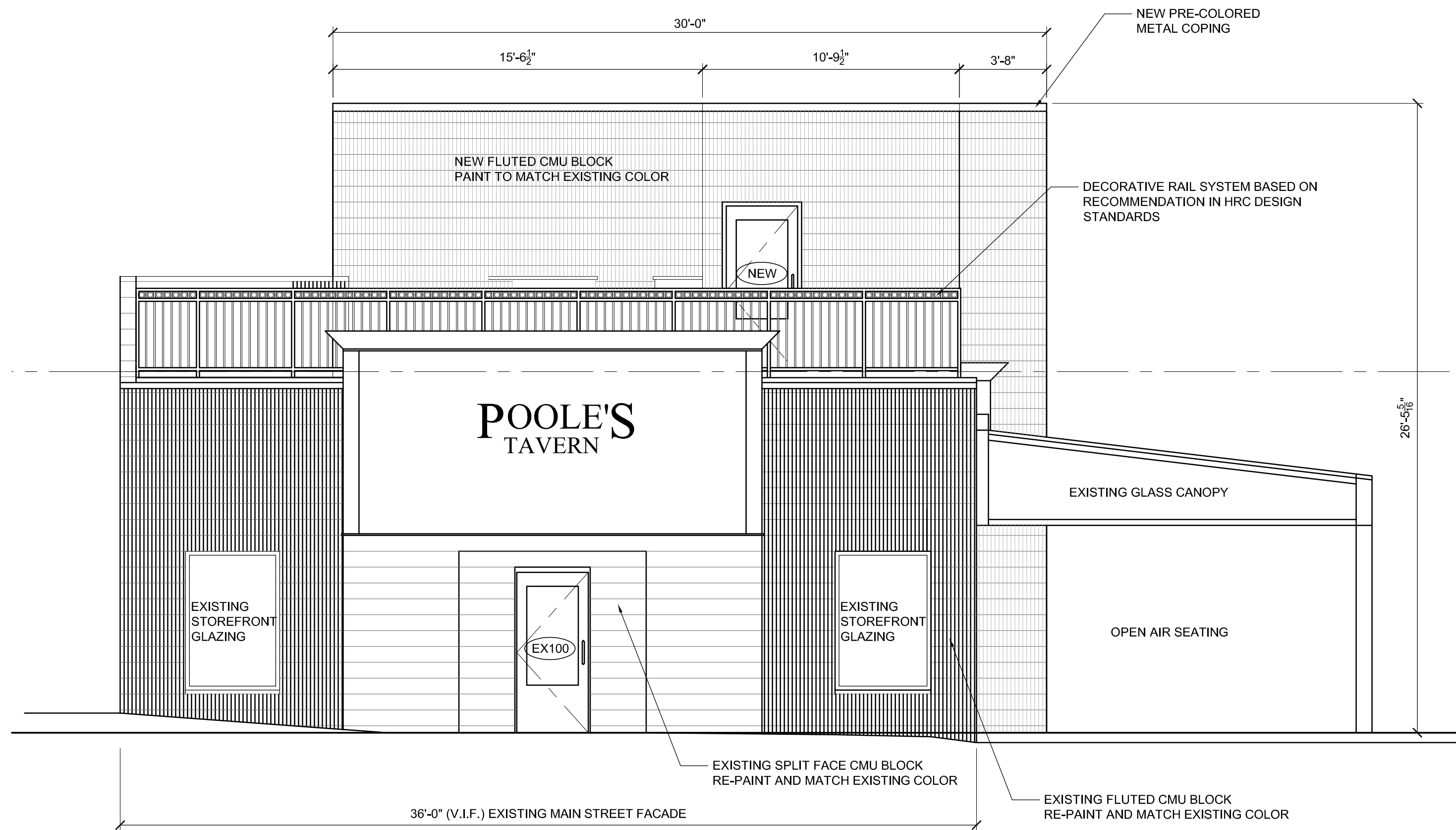
OWNER: POOLE'S TAVERN LLC
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715 CONTACT: GRANT / ROB BADIS

ISSUED FOR:	DATE	BY	REVISION
OWNER REVIEW	10/24/2020	MACDONELL	1
OWNER CONCEPT REVISIONS	10/24/2020	MACDONELL	2
OWNER CONCEPT REVISIONS	11/02/2020	MACDONELL	3

SHEET CONTENT:
**PROPOSED
NEW WORK
FIRST FLOOR
ROOF PLAN**

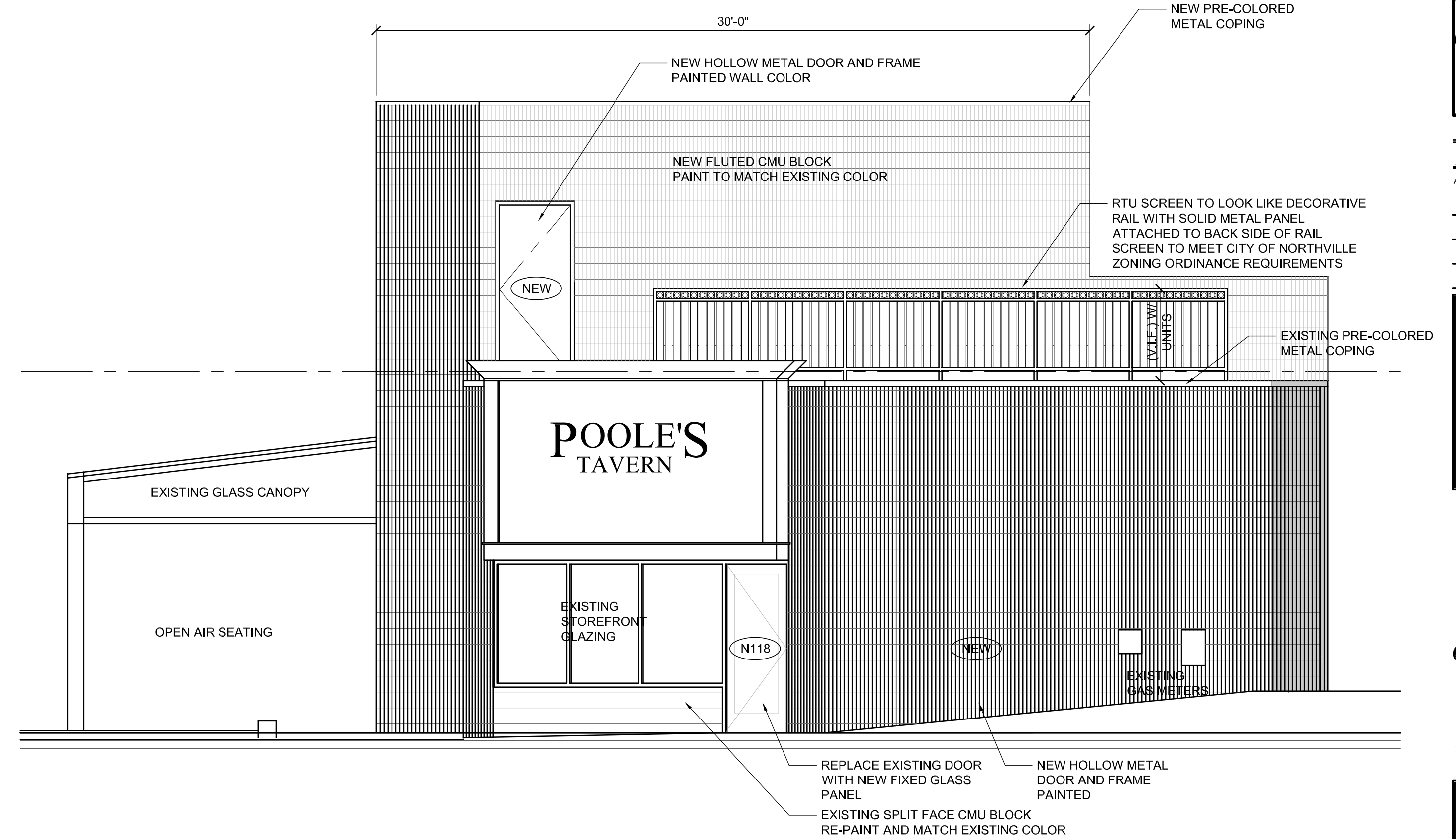
FILE NO.:
PT-20-035

SHEET NO.:
A-230



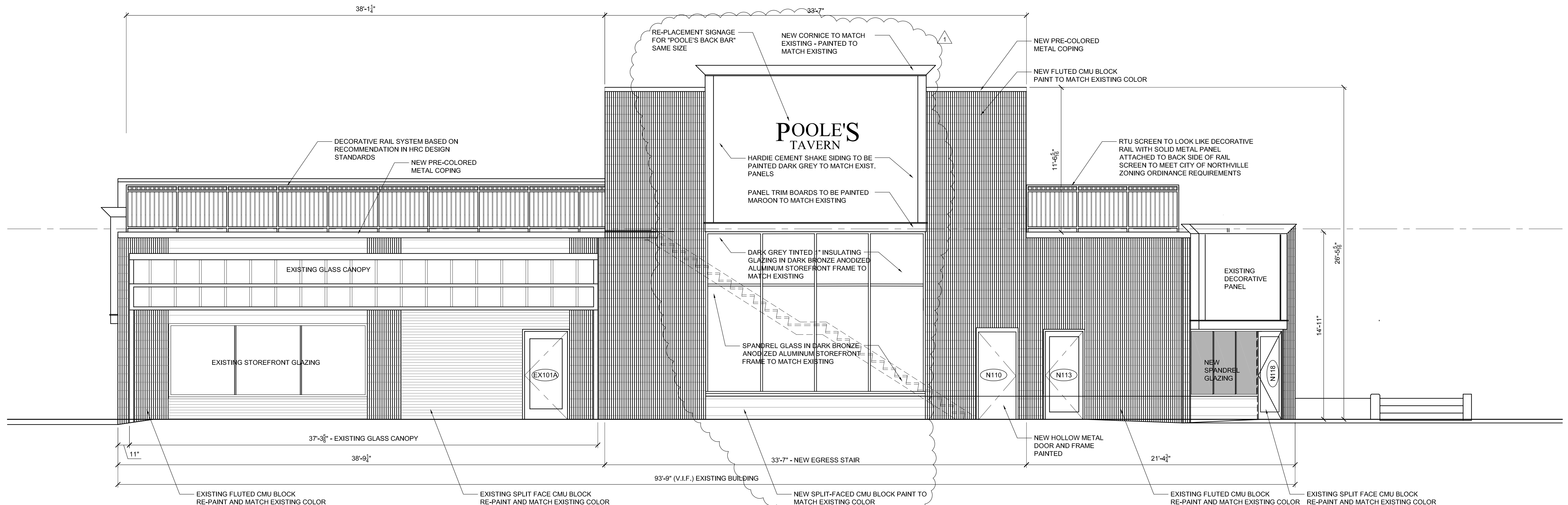
PROPOSED SOUTH ELEVATION (MAIN STREET)

SCALE: 1/4" = 1'-0"



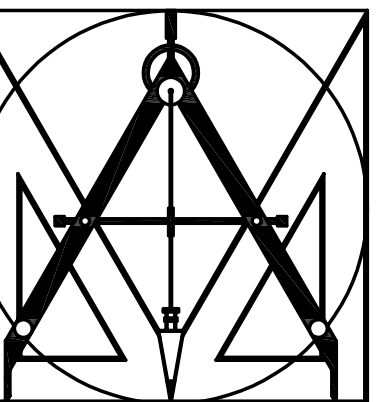
PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



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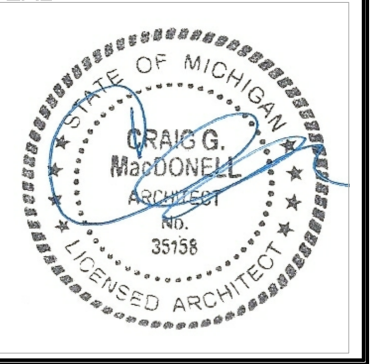
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NEW INTERIOR IMPROVEMENTS FOR:

PROJECT:

OWNER:

POOLE'S TAVERN LLC

157 MAIN STREET

NORTHVILLE, MI. 48167

(248) - 349-1715

CONTACT: GRANT / ROB BADIS

ISSUED FOR:

DATE REVIEWED

DATE REVIEWED

DATE REVIEWED

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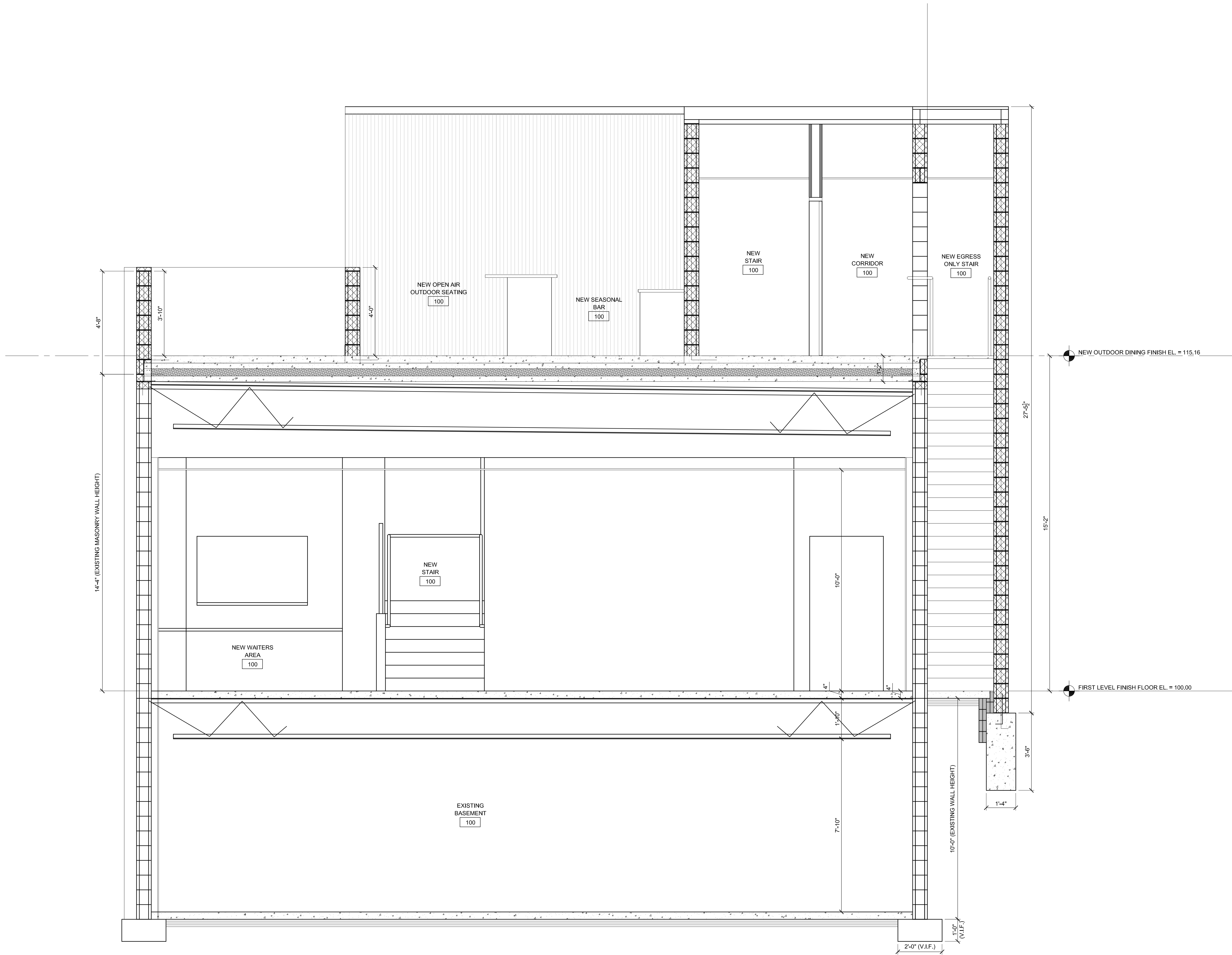
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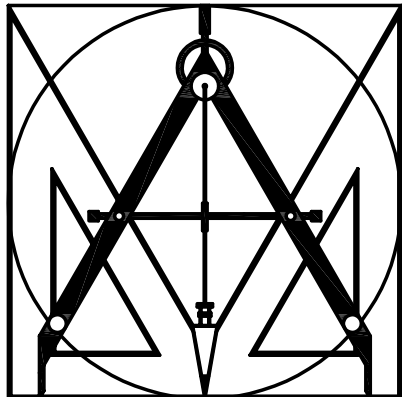
DATE REVIEWED

DATE REVIEWED

DATE REVIEWED



BUILDING CROSS SECTION
SCALE: 1/2" = 1'-0"



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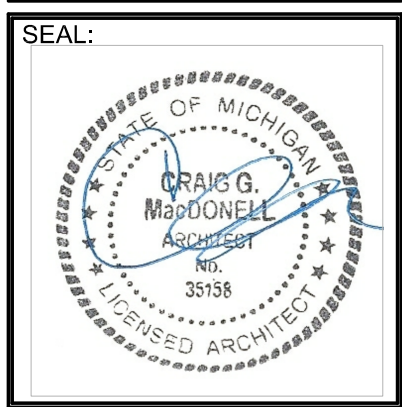
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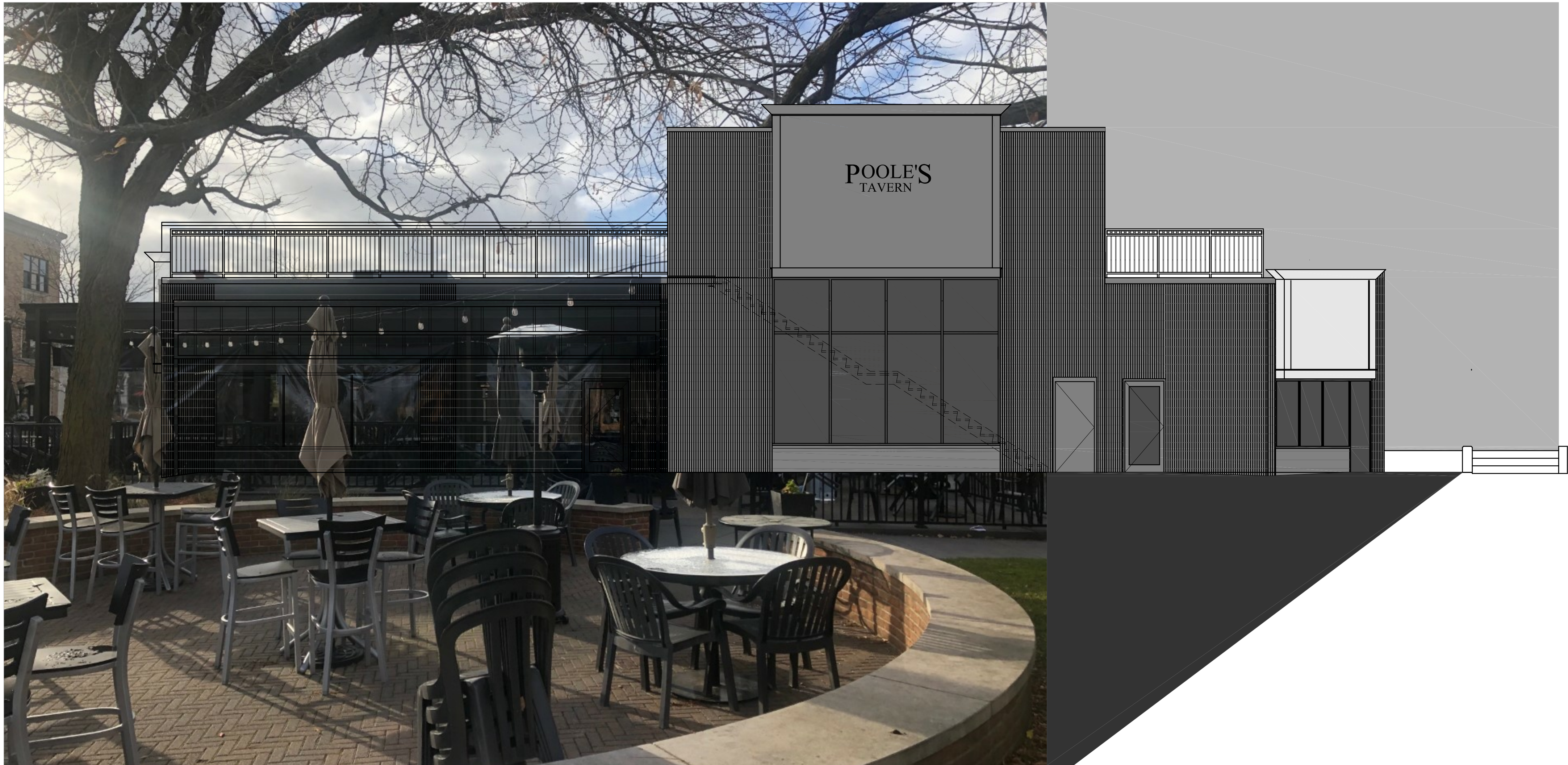
NEW INTERIOR IMPROVEMENTS FOR:
POOLE'S TAVERN
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715
POOLE'S TAVERN LLC
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715 CONTACT: GRANT / ROB BADIS

PROJECT:
OWNER:
OWNER CONCEPT REVISIONS
OWNER CONCEPT REVISIONS

ISSUED FOR:
DATE: 10/20/2020
DATE: 10/20/2020
DATE: 10/20/2020
DATE: 10/20/2020

SHEET CONTENT:
PROPOSED
STUDY
SECTION

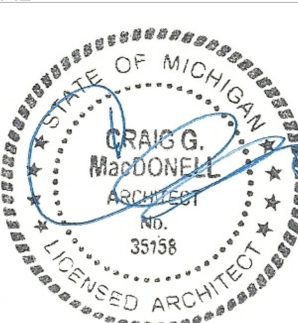
FILE NO.:
PT-20-035
SHEET NO.:
A-501



EXISTING / PROPOSED HUTTON STREET STREETScape ELEVATION
SCALE: 3/16" = 1'-0"




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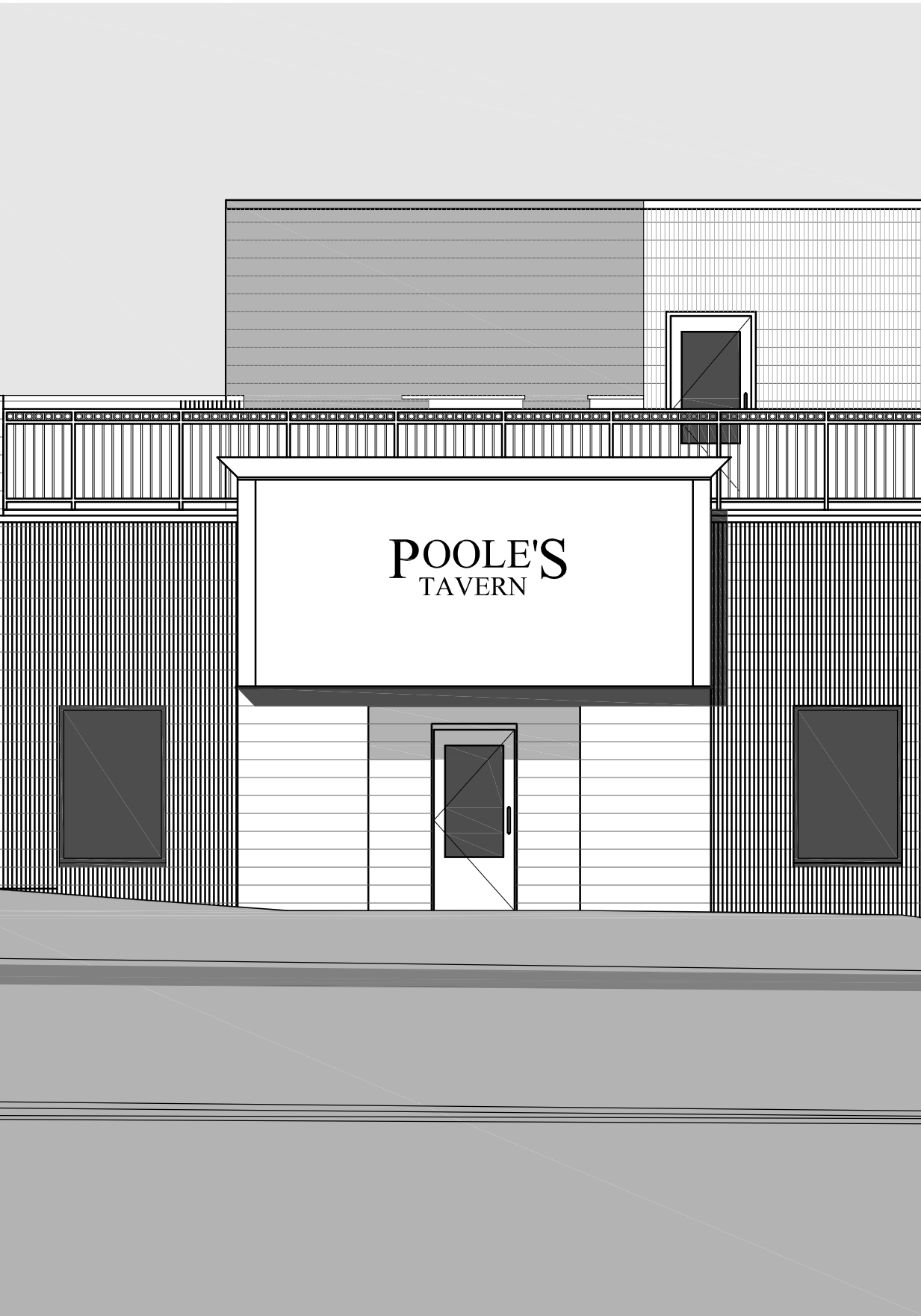
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PROJECT:
NEW INTERIOR IMPROVEMENTS FOR:
POOLE'S TAVERN
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715
OWNER:
POOLE'S TAVERN LLC
157 MAIN STREET
NORTHVILLE, MI. 48167
(248) - 349-1715 CONTACT: GRANT / ROB BADIS

ISSUED FOR:
DATE: 10/24/2020
BY: C. MACDONELL
REVISIONS:
1. 11/02/2020
2. 11/17/2020
3. 12/14/2020
OWNER CONCEPT REVISIONS
SPARE REVISIONS
REVISED SUBMITTAL

SHEET CONTENT:
**STREET
SCAPE
ELEVATIONS**

FILE NO.:
PT-20-035
SHEET NO.:
SS-301



EXISTING / PROPOSED MAIN STREET STREETScape ELEVATION
SCALE: 3/16" = 1'-0"

INTERNAL SITE PLAN REVIEW

DATE: November 18, 2020

SITE: 157 E. Main Street – Preliminary & Final Site Plan Review

REVIEWED BY:

DATE:

 **BUILDING:**

RSB

12/3/20

D.P.W./ENGINEERING:

FIRE:

POLICE:

DDA: (If applicable)

ADDITIONAL COMMENTS: - roof top occupant load exceeds 50 persons.
will need 2 remote means of egress.
- provide plumbing fixture calcs based on occupant load

PLEASE RETURN REVIEW **AND APPLICATION/PLANS** TO THE BUILDING
DEPT. BY **10:00 A.M. TUESDAY, DEC. 1, 2020.**

INTERNAL SITE PLAN REVIEW

DATE: November 18, 2020

SITE: 157 E. Main Street – Preliminary & Final Site Plan Review

REVIEWED BY:

DATE:

BUILDING: _____

D.P.W./ENGINEERING: *MC* _____

11-19-20 _____

FIRE: _____

POLICE: _____

DDA: (If applicable) _____

ADDITIONAL COMMENTS: *- Note -* _____

PLEASE RETURN REVIEW AND APPLICATION/PLANS TO THE BUILDING
DEPT. BY 10:00 A.M. TUESDAY, DEC. 1, 2020.

INTERNAL SITE PLAN REVIEW

DATE: November 18, 2020



SITE: 157 E. Main Street – Preliminary & Final Site Plan Review

REVIEWED BY:

DATE:

BUILDING: _____

D.P.W./ENGINEERING: _____

 FIRE:  _____

12/1/20

POLICE: _____

DDA: (If applicable) _____

ADDITIONAL COMMENTS: _____

Planned two means of egress (stairways), for rooftop dining, needs seperation.

IFC 2015, 1007.1.1(2) ...the separation distance shall be not less than one-third of the
lenght of the maximum overall diagonal dimension of the area served.

PLEASE RETURN REVIEW AND APPLICATION/PLANS TO THE BUILDING
DEPT. BY 10:00 A.M. TUESDAY, DEC. 1, 2020.

INTERNAL SITE PLAN REVIEW

DATE: November 18, 2020

SITE: 157 E. Main Street – Preliminary & Final Site Plan Review

REVIEWED BY:

DATE:

BUILDING: _____

D.P.W./ENGINEERING: _____

FIRE: _____

POLICE:  _____

12/1/2020

DDA: (If applicable) _____

ADDITIONAL COMMENTS: Would need to work w/
the MLCC to amend outdoor service permit
to include new roof top service area.

PLEASE RETURN REVIEW AND APPLICATION/PLANS TO THE BUILDING
DEPT. BY 10:00 A.M. TUESDAY, DEC. 1, 2020.

Shari Allen

From: Lori Ward
Sent: Thursday, December 10, 2020 4:32 PM
To: Shari Allen; Dianne Massa
Subject: DDA Comments on Poole's project
Attachments: DDA EDC Comments - Pooles Tavern.pdf

Attached are comments on the Poole's project from the DDA's Economic Development Committee. Thanks, LW

Lori M. Ward
Director, Northville DDA
215 W. Main Street
Northville, MI 48103
Phone: 248-349-0345

Downtown Development Authorities (DDA) Economic Development Committee (EDC)
Comments in response to 157 E. Main St. Development
December 10, 2020

The EDC has had the opportunity to meet with the owners of Poole's Tavern to review their plans on Tuesday Dec 1st 2020. The EDC took a very holistic approach in the review of the project and reviewed both "Phase I" and "Phase II". Overall, the EDC was very impressed with the plan for Poole's Tavern and feel that the project will provide an improved Gateway into the downtown from the east. The Committee was delighted to see an existing business further investing in our community. In these very trying times, the committee believes it will be uplifting to residents to see continued investment in Northville.

The Committee did have discussions with ownership about potential modifications to the building. There was some level of concern about the large stair structure on the east side of the building that provides a large blank wall. We also would like to review the rooftop and the discussion around capacity. Currently, the design has limited its capacity to 49 seats due to concerns around the requirement of an elevator. Also, we would like the owners to consider covering the rooftop dining with some sort of shade future.

The committee would also like to see both Phases done at the same time if Poole's Ownership would be willing to do so. We feel the City would greatly benefit from this project especially during these trying times.

The EDC did not discuss the potential sale of City owned property to Poole's to facilitate this project. It is the EDC's understanding that a City Council sub committee has been formed to evaluate the request on behalf of the City. The EDC would encourage the sub committee to review the access from Main Street to the Marquis Parking Lot. The DDA, City, Poole's and Bank of America worked for several years to negotiate and acquire easements that would continue to provide a public access from Main to the parking lot. The DDA spent thousands of dollars on survey and legal fees to establish the easements and the EDC would like to see it remain. Surveys included with the applications show a possible reduction of that easement.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: February 19, 2021

**Preliminary and Final
Site Plan Review
For
City of Northville, Michigan**

Applicant:	157 E. Main, LLC Rob Baidas 25000 Assembly Park Dr. Wixom, MI 48393
Project Name:	Rooftop Dining & Stairwell Addition
Plan Date:	November 17, 2020 (With revised sheets A-220, A-301, CS-001 and SS-301 dated December 14, 2020)
Location:	157 E. Main St. (North side of E. Main St., just west of Hutton St.)
Zoning:	CBD – Central Business District
Action Requested:	Preliminary and Final Site Plan Approval
Required Information:	As noted within this review

PROJECT AND SITE DESCRIPTION

The applicant is proposing to renovate the interior of Poole's Tavern and construct a roof-top seating area, with accessory bar, accessed by internal and external stairwells. The applicant has also proposed to purchase land from the City occupied by the existing street-level outdoor patio and that is currently being leased by the applicant. City Council has established a sub-committee to study the purchase and provide a recommendation.

This site is located in the Central Business District (CBD). Sit-down restaurants are permitted uses in this district. The definition of a sit-down restaurant includes service of food and beverages (both alcoholic and non-alcoholic) within the establishment or at outside tables. Therefore, the expansion of the use to the roof top (outside) is a permitted use in the Central Business District.

An aerial of the subject site is provided below.

Figure 1 – Subject Site



AREA, WIDTH, HEIGHT, SETBACKS

The proposed building renovation will add a stairwell, approximately 4-feet wide, to the east façade of the building and into the area proposed for purchase. The architectural plans don't show how much of the purchase area will be occupied by the new stairwell; however, since the required setbacks are "zero feet," the stairwell will comply. In any case, the proposed building footprint, with new stair structure, needs to be located on the property survey that includes the land proposed for purchase, as well as the adjacent site conditions. In particular, the pedestrian access way between the new stair structure and the bank should be illustrated.

The table below compares the proposed project to ordinance requirements for lot dimensions, building placement, and building dimensions:

Table 1: Schedule of Regulations, CBD District

	Required	Proposed
Lot Area	N/A	3,354 s.f. / 0.077 ac. or 4,968 s.f. / 0.11 ac. (See below)
Lot Width	N/A	36.0 ft.

	Required	Proposed
Setbacks		
Front	N/A	0 ft.
Side	N/A	0 ft.
Rear	20 ft.	0 ft. (See below)
Max. Floor Area Ratio	3.0	1.32 (6,576 / 4,968) (See below)
Lot Coverage	N/A	N/A
Building Height	3 stories; 42 ft.	1 story; 14.67 feet

Lot Area: The application form states that the lot area is “to be determined,” based on whether City Council agrees to sell 1,614 square feet to the east of the building to the applicant. If this transaction occurs, the site will be 4,968 s.f. in size.

Rear Setback: The Zoning Ordinance permits the Planning Commission to waive or modify the rear-yard requirement if the property backs up to a public parking lot or public right-of-way, or in instances where the requirement of a rear yard setback would serve no useful purpose. This site backs up to a public parking lot. We recommend that this requirement be waived.

Floor Area Ratio: As a commercial building, the definition of “Floor Area, Gross” is used in this calculation. The basement (3,223 s.f.) and first floor (3,223 s.f.) of the existing structure, as well as the new stairwell addition (130 s.f.) are included. We have used the larger “Lot Area” figure in the Floor Area Ratio calculation because we understand that if the land is not acquired by the applicant, the exterior stairwell cannot be constructed, and the rooftop portion of the project, as proposed, will most likely not move forward.

Items to be Addressed: 1 Applicant to provide site plan showing proposed building footprint, with new stair structure, located on the property survey that includes the land proposed for purchase, as well as the adjacent site conditions. In particular, the pedestrian access way between the new stair structure and the bank should be illustrated. 2. Recommend the Planning Commission waive the rear yard requirement.

BUILDING LOCATION AND ARRANGEMENT

The entire lot is occupied by the existing building. Any expansion of this business must go “up,” or additional land purchased.

In our opinion, the proposed location of additional seating on the roof will add to the vibrant character of Main Street as a central gathering space for residents and visitors. We believe the tall stairwell structure creating a partial upper story will coordinate well with the other two-story buildings on this side of the street. Single-story buildings are the exception in the core of downtown.

The project will require review and approval by the Historic District Commission. We recommend that any site plan approval be conditioned upon the project receiving HDC approval.

The proposal locates 49 seats (44 at tables/counters; 5 at a bar area) on the roof top. To gauge the relative scope of the proposed expansion, the applicant should provide information about the current number of patrons that can be served inside and on the existing, ground-level outdoor patio.

The applicant should also provide information on the roof-top hours of operation, whether the food service will end at a certain hour and the space transition into alcohol sales only, if there will be any televisions or amplified music, etc. These questions are meant to better understand the potential impact of this use on the surrounding properties, particularly residential uses in the downtown.

While not likely, the counter-style seating along the railing could pose potential issues of items falling off the counter into the sidewalk below. We ask the applicant to discuss how this possibility could be minimized.

Items to be Addressed: *1. Recommend Planning Commission condition any approval of the project receiving approval from the Historic District Commission. 2. Applicant to provide information on the number of patrons that can be served inside, and on the existing outside patio. 3. Applicant to provide information about the hours of operation for the rooftop area, whether food service will end at a certain hour and the space transition into alcohol-sales only, if there will be any televisions or amplified music, etc. to better understand potential impacts of the use on surrounding properties. 4. Applicant to describe how they will minimize the potential for items falling off of the railing counters into the sidewalk below.*

PARKING

It is the City's current policy to not require parking for outdoor dining, as this type of dining areas can only be used during the warmer months of the year.

Most outdoor dining areas in the downtown are located on public property, either the sidewalk, dining platforms in an on-street parking space, or in the Town Square. The subject site also accommodates outdoor dining on public property, but is done through a lease arrangement vs. the annual Sidewalk Café and Outdoor Dining Permit process. Newer buildings such as MainCentre and Northville Square incorporated outdoor dining into the site design. Some older buildings, such as The Garage and Starbucks have space on their property to accommodate outdoor seating. All of these variations are a testament to how popular outdoor dining is, and how it is an important draw to Northville's downtown businesses. The DDA has suggested conducting a parking study of the downtown in light of new upper-floor residential uses. The impact of outdoor dining on the downtown parking situation could be incorporated into this study. Also, the Planning Commission may want to discuss the outdoor dining parking policy in the future once information about the practice can be gathered.

Items to be Addressed: *None.*

SITE ACCESS AND CIRCULATION

This site has no vehicular access.

Pedestrians will access the site from Main Street, and from the public parking lot to the rear (Marquis Parking Lot).

The Downtown Development Authority's (DDA) Economic Development Committee (EDC) provided comments to this proposal. One comment is in regard to pedestrian access from Main Street through the existing leased area (proposed area for purchase) to the Marquis Parking Lot. The EDC is encouraging the City to retain this access. At this time, City Council has not made a decision.

Because the building footprint has not been shown on the proposed site survey, we don't know how much space there is between the proposed stairwell structure and the bank building to the northeast for a pedestrian walkway. Any public accessway will need to meet the American's With Disabilities Act (ADA) minimum requirements. As mentioned above, a plan showing the proposed building on the proposed site configuration, with an accessway, needs to be provided.

Items to be Addressed: *None.*

LANDSCAPING

This site does not include any undeveloped areas that could be landscaped. We believe the existing large tree and grassy area to the east are in the portion of the land to be retained by the City. This should be confirmed.

Items to be Addressed: *Applicant to confirm that existing large tree and grassy area to the east are in the portion of land to be retained by the City.*

LIGHTING

Lighting information has not been provided. This is a requirement of a Final Site Plan, and needs to be provided. While all site lighting should be provided, proposed lighting and light levels for the rooftop dining area also needs to be shown on the lighting plans. Lighting for signage should also be provided.

Items to be Addressed: *Applicant to provide lighting information.*

SIGNS

A new sign is shown on the eastern façade on revised Sheet A-301. The new sign will replace an existing sign of the same size. The HDC will also need to review and approve the sign. Also, the Building Official will review the proposed sign for the Sign Permit.

Items to be Addressed: *Defer evaluation of the proposed sign to the Building Official, after HDC review and approval.*

FLOOR PLANS/ ELEVATIONS

Floor plans and elevations have been provided.

The revised elevations (Sheet A-301) show that the proposed stairwell addition will be constructed with CMU fluted block that matches the existing facades of the building. Tinted glass windows are being proposed on the stairwell façade to help break up the large expanse of blank wall. The upper story of the stairwell will contain siding, with a new cornice, to match the existing design on the front of the building. The rooftop seating will be surrounded with decorative railing that is consistent with the DDA's design standards. A screen to look like the decorating railing is located on the rear roof area to screen the mechanical equipment.

The EDC recommended that some type of rooftop cover over the dining area be added. The applicant should respond to this idea. If a roof-type structure is desirable, this information needs to be incorporated into the site plan submittal.

Lastly, the Building Official and Fire Chief both commented on the occupant load of the rooftop area; stating that two separate stairways would be necessary. These comments were provided before the revised sheets (dated December 14, 2020) were submitted. The revised sheets include a detailed analysis of how maximum occupancy was determined. We asked the Building Official to evaluate the revised sheets, and occupancy load. He stated to us via e-mail that he agrees with the analysis, and the rooftop dining area is not required to have two separate egress stairwells. The applicant should respond to this update, and whether they plan to keep both stairways, or eliminate one.

Items to be Addressed: 1. If applicant agrees to add a roof-type structure over the new dining area, this information needs to be included in the site plan review process. 2. Applicant to respond to Building Official's determination that only one stairway is necessary; will the project continue to have both stairways, or will one be eliminated?

OTHER

The EDC memo refers to "phasing" of the project. This detail is not illustrated in the site plan submission, and should be clarified.

In addition, the applicant's liquor license will need to be expanded to cover the new rooftop dining area. The liquor license process will include a license from both the State and City. We recommend conditioning any site plan approval on the applicant obtaining the necessary liquor licenses.

Items to be Addressed: 1. Applicant to clarify if project will be phased, and if so, how. 2. Recommend Planning Commission condition any approval on the applicant obtaining the necessary liquor licenses.

RECOMMENDATIONS

In our opinion, a rooftop dining area will add to the downtown's vibrant and active atmosphere, and would be a positive addition to drawing patrons to Northville.


Since this is a Final Site Plan, we would recommend that the applicant be given more time to address the comments below before the Planning Commission makes a decision. (Note that our recommended conditions of any approval are listed after the outstanding items for the applicant.)

- A. **Area, Width, Height, and Setbacks.** Applicant to provide site plan showing proposed building footprint, with new stair structure, located on the property survey that includes the land proposed for purchase, as well as the adjacent site conditions. In particular, the pedestrian access way between the new stair structure and the bank should be illustrated.
- B. **Building Location and Arrangement.** 1. Applicant to provide information on the number of patrons that can be served inside, and on the existing outside patio. 2. Applicant to provide information about the hours of operation for the rooftop area, whether food service will end at a certain hour and the space transition into alcohol-sales only, if there will be any televisions or amplified music, etc. to better understand potential impacts of the use on surrounding properties. 3. Applicant to describe how they will minimize the potential for items falling off of the railing counters into the sidewalk below.
- C. **Landscaping.** Applicant to confirm that existing large tree and grassy area to the east are in the portion of land to be retained by the City.
- D. **Lighting.** Applicant to provide lighting information.
- E. **Signage.** Defer evaluation of the proposed sign to the Building Official, after HDC review and approval.
- F. **Floor Plans/Elevations.** 1. If applicant agrees to add a roof-type structure over the new dining area, this information needs to be included in the site plan review process. 2. Applicant to respond to Building Official's determination that only one stairway is necessary; will the project continue to have both stairways, or will one be eliminated?
- G. **Other.** Applicant to clarify if project will be phased, and if so, how.

Recommended Conditions:

- A. Recommend the Planning Commission waive the rear yard requirement.
 - B. Recommend the Planning Commission condition any approval on the project receiving approval from the Historic District Commission.
 - C. Recommend the Planning Commission condition any approval on the applicant obtaining the necessary liquor licenses.
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Rooftop Dining & Stairwell Addition
February 19, 2021



CARLISLE/WORTMAN ASSOC., INC.
Sally M. Elmiger, AICP, LEED AP
Principal

153-2007

cc: Pat Sullivan
Dianne Massa